

# Town of Sunnyvale

**Town Council**

**March 28, 2016**

**Town Council  
Special Meeting  
6:00 P.M.**

**Town Council  
Regular Meeting  
7:00 P.M.**



**TOWN OF SUNNYVALE  
SUNNYVALE TOWN COUNCIL  
SPECIAL MEETING  
CONFERENCE ROOM - 127 N. COLLINS RD  
MONDAY, MARCH 28, 2016  
6:00 P.M.**

**CALL MEETING TO ORDER**

Mayor calls the Meeting to order, state the date and time. State Councilmember's present and declare a quorum present.

**EXECUTIVE SESSION**

Recess into executive session pursuant to Chapter 551, Subchapter D of the Texas Government Code:

**EXECUTIVE SESSION AGENDA:**

**A. SECTION 551.087 ECONOMIC DEVELOPMENT**

To discuss or deliberate regarding commercial or financial information that the governmental body has received from a business prospect that the governmental body seeks to have locate, stay, or expand in or near the territory of the governmental body and with which the governmental body is conducting economic development negotiations; or to deliberate the offer of a financial or other incentive to a business prospect.

**PROSPECT AT SUNNYVALE CENTRE**

**END OF EXECUTIVE SESSION**

Reconvene into open session and take any action necessary as a result of the Executive Session.

**1. CONSIDER ANY OFFICIAL ACTION ON THE EXECUTIVE SESSION CLOSED MEETING ITEMS:**

**A. SECTION 551.087 ECONOMIC DEVELOPMENT**

To discuss or deliberate regarding commercial or financial information that the governmental body has received from a business prospect that the governmental body seeks to have locate, stay, or expand in or near the territory of the governmental body and with which the governmental body is conducting economic development negotiations; or to deliberate the offer of a financial or other incentive to a business prospect.

**PROSPECT AT SUNNYVALE CENTRE**

**ADJOURN**

ALL LOCATIONS IDENTIFIED ARE IN THE TOWN OF SUNNYVALE UNLESS OTHERWISE INDICATED. FOR A DETAILED PROPERTY DESCRIPTION, PLEASE CONTACT THE BUILDING OFFICIAL AT TOWN HALL. ALL ITEMS ON THE AGENDA ARE FOR POSSIBLE DISCUSSION AND ACTION. PLEASE TURN OFF ALL TELEPHONES AND HANDHELD COMMUNICATION DEVICES WHILE IN ATTENDANCE AT THIS MEETING.

TCS  
03/28/2016

THE SUNNYVALE TOWN COUNCIL RESERVES THE RIGHT TO ADJOURN INTO EXECUTIVE SESSION AT ANY TIME DURING THE COURSE OF THIS MEETING TO DISCUSS ANY OF THE MATTERS LISTED ABOVE, AS AUTHORIZED BY TEXAS GOVERNMENT CODE SECTION 551.071 (CONSULTATION WITH ATTORNEY), 551.072 (DELIBERATION ABOUT REAL PROPERTY), 551.073 (DELIBERATIONS ABOUT GIFTS AND DONATIONS), 551.074 (PERSONNEL MATTERS), 551.076 (DELIBERATIONS ABOUT SECURITY DEVICES), AND 551.087 (ECONOMIC DEVELOPMENT).

THE TOWN OF SUNNYVALE IS COMMITTED TO COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA). REASONABLE ACCOMMODATIONS AND EQUAL ACCESS TO COMMUNICATIONS WILL BE PROVIDED TO THOSE WHO PROVIDE NOTICE TO THE DIRECTOR OF COMMUNITY SERVICES AT 972-226-7177 AT LEAST 48 HOURS PRIOR TO THE MEETING.

**I HEREBY CERTIFY THAT THE FOREGOING NOTICE WAS POSTED ON MARCH 24, 2016, IN THE FOLLOWING LOCATION AND REMAINED SO POSTED CONTINUOUSLY FOR AT LEAST 72 HOURS PRECEDING THE SCHEDULED TIME OF SAID MEETING:**

**TOWN HALL AT 127 N. COLLINS ROAD**

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**LESLIE BLACK, TOWN SECRETARY**

RTCM  
03/28/2016



**TOWN OF SUNNYVALE  
SUNNYVALE TOWN COUNCIL  
REGULAR MEETING  
MONDAY, MARCH 28, 2016  
TOWN HALL - 127 N. COLLINS RD.  
7:00 P.M.**

**INVOCATION**

**PLEDGE OF ALLEGIANCE**

**CALL MEETING TO ORDER**

Mayor calls the Meeting to order, state the date and time. State Councilmembers present and declare a quorum present.

**PUBLIC FORUM**

Citizens may speak on any matter other than personnel matters or matters under litigation. No Town Council actions or discussion will be taken until such matter is placed on the agenda and posted in accordance with law.

**PUBLIC HEARING**

Open or continue public hearing, consider testimony and other information provided, close public hearing, and take necessary action with respect to the following:

1. **APPLICANT:** TERESA MYERS – LAND RESOLUTIONS, INC.  
**AT OR ABOUT:** 320 TOWN EAST BLVD. (7.4 ACRES)  
**REQUEST:** PRELIMINARY PLAT – HAWKINS ESTATES, LOT 1 BLOCK 1
2. **APPLICANT:** HOLLEY MONTIE  
**AT OR ABOUT:** 520 CLAY ROAD (3.04 ACRES)  
**REQUEST:** MINOR PLAT - FLOWERS DISTRIBUTION CENTER
3. **APPLICANT:** STONE CANYON EAST, L.P. (DAVID GOODHART)  
**AT OR ABOUT:** 7.5 ACRES SOUTH OF STONE CANYON DRIVE AND BOULDER LANE  
**REQUEST:** PRELIMINARY PLAT – STONE CANYON EAST, PHASE 5A
4. **APPLICANT:** STONE CANYON EAST, HOA (DAVID GOODHART)  
**AT OR ABOUT:** 2.6 ACRES NEAR THE INTERSECTION OF STONE CANYON DRIVE AND CAPROCK DRIVE  
**REQUEST:** REPLAT – STONE CANYON EAST, PHASE 4, LOT OS 192R & OS 193R
5. **APPLICANT:** STONE CANYON EAST, L.P. (DAVID GOODHART)  
**AT OR ABOUT:** 1.411 ACRES AT STONE CANYON DRIVE AND BOULDER LANE  
**REQUEST:** SITE PLAN – STONE CANYON EAST AMENITY CENTER

RTCM  
03/28/2016

6. **APPLICANT:** JOSE CANTU  
**AT OR ABOUT:** 3.7 ACRES NEAR SE QUADRANT OF THE INTERSECTION OF S. COLLINS RD (SH 352) AND CLAY RD  
**REQUEST:** SITE PLAN - US RENAL CARE SUNNYVALE
7. **APPLICANT:** JOSE CANTU  
**AT OR ABOUT:** 3.7 ACRES NEAR SE QUADRANT OF INTERSECTION OF S. COLLINS RD (SH 352) AND CLAY RD  
**REQUEST:** PRELIMINARY PLAT – US RENAL CARE SUNNYVALE
8. **APPLICANT:** COLIN HELFFRICH, P.E.  
**AT OR ABOUT:** 334 JOBSON ROAD – 48.77 ACRES WEST OF JOBSON ROAD AND EAST OF WANDERING BROOK DRIVE  
**REQUEST:** TENTATIVE DEVELOPMENT PLAN – STONEY CREEK PHASE 2E
9. **APPLICANT:** COLIN HELFFRICH, P.E.  
**AT OR ABOUT:** 334 JOBSON ROAD – 61.39 ACRES SOUTH WEST OF THE INTERSECTION OF STONEY CREEK BLVD AND WANDERING BROOK DRIVE  
**REQUEST:** TENTATIVE DEVELOPMENT PLAN – STONEY CREEK PHASE 2F
10. **APPLICANT:** COLIN HELFFRICH, P.E.  
**AT OR ABOUT:** 400 NANCE ROAD – 154 ACRES NORTHEAST OF NANCE ROAD  
**REQUEST:** TENTATIVE DEVELOPMENT PLAN – STONEY CREEK TRACT 4
11. **APPLICANT:** TOWN OF SUNNYVALE  
**REQUEST:** DISCUSS AND CONSIDER FIRST READING OF ORDINANCE 16-08: AN ORDINANCE AMENDING ZONING ORDINANCE NO. 324 DULY PASSED BY THE TOWN COUNCIL ON JANUARY 31, 2000; AS AMENDED FROM TIME TO TIME; SO AS TO CHANGE BY ADOPTION OF AMENDMENTS TO THE TEXT OF THE TOWN'S ZONING ORDINANCE INCLUDING WITHOUT LIMITATION, CHANGES TO CHAPTER 19.7 TEMPORARY USES; AND ADDING REGULATIONS FOR MOBILE FOOD VENDOR, PROVIDING AN EFFECTIVE DATE; PROVIDING FOR PENALTIES; AND PROVIDING A SEVERABILITY CLAUSE.

#### DISCUSSION/ACTION ITEMS

#### TOWN SECRETARY

12. **DISCUSS AND CONSIDER SECOND READING OF ORDINANCE 16-06: AN ORDINANCE DECLARING UNOPPOSED CANDIDATES IN THE MAY 7, 2016, GENERAL TOWN ELECTION ELECTED TO OFFICE; CANCELING THE ELECTION;**

RTCM  
03/28/2016

**PROVIDING FOR A SEVERABILITY CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.**

**TOWN MANAGER**

- 13. DISCUSS AND CONSIDER APPROVING MODIFICATIONS OF EXISTING COLUMN AT TOWN HALL ENTRANCE.**
- 14. DISCUSS AND CONSIDER AUTHORIZING THE TOWN MANAGER TO NEGOTIATE FEES AND MEMORIALIZE AN ENGAGEMENT LETTER FOR THE SERVICES OF J. D. DODD LAW TO SERVE AS THE TOWN'S LEGAL COUNSEL.**

**MAYOR & COUNCIL**

- 15. MAYOR AND COUNCIL REQUESTS FOR FUTURE STAFF UPDATES AND AGENDA ITEMS.**

**ADJOURN**

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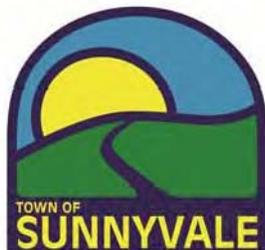
THE TOWN OF SUNNYVALE IS COMMITTED TO COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA). REASONABLE ACCOMMODATIONS AND EQUAL ACCESS TO COMMUNICATIONS WILL BE PROVIDED TO THOSE WHO PROVIDE NOTICE TO THE DIRECTOR OF COMMUNITY SERVICES AT 972-226-7177 AT LEAST 48 HOURS PRIOR TO THE MEETING.

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**TOWN HALL AT 127 N. COLLINS ROAD**

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**LESLIE BLACK, TOWN SECRETARY**



# Town of Sunnyvale

March 28, 2016

Prepared By: **Rashad Jackson, AICP**  
**Director of Development Services**

## **Summary:**

**APPLICANT:** TERESA MYERS – LAND RESOLUTIONS, INC.  
**AT OR ABOUT:** 320 TOWN EAST BLVD. (7.4 ACRES)  
**REQUEST:** PRELIMINARY PLAT – HAWKINS ESTATES, LOT 1 BLOCK 1

## **Background:**

The applicant is the representative for a residential property located at or about 320 Town East Blvd. The parcel of land is approximately 7.4 acres. The property is surrounded by a residential property to the east, The Homestead Phase 2D-S to the south and the future phase of The Homestead Phase 7 to the west. The applicant proposes to plat the subject lot for the development of a single residence. The property is zoned for residential development. The applicant has established the necessary easements, setbacks and buffers required for the development of the subject lot.

- Right of way dedication for possible future Town East Blvd expansion – 50 feet
- Front setback – 80 feet
- Side setbacks – 50 feet
- Rear setback – 120 feet

As noted, the proposed preliminary plat conforms to the Town zoning and subdivision ordinance requirements.

## **Public Notice**

Notice was published within the Town's Official Newspaper on Wednesday, March 2<sup>nd</sup>. Letters were also provided to surrounding properties meeting the distance requirements as provided within the Town Ordinance. Sixteen (16) letters were sent out. As of the writing of this staff memo, two (2) letters have been returned in favor of the request.

## **Planning & Zoning Commission Recommendation – 3/21/16**

Chairman Demko called for a motion. Commissioner Pease made a motion to approve the request as submitted. Commissioner Daniel seconded. Chairman Demko called for a vote, the motion passed unanimously.

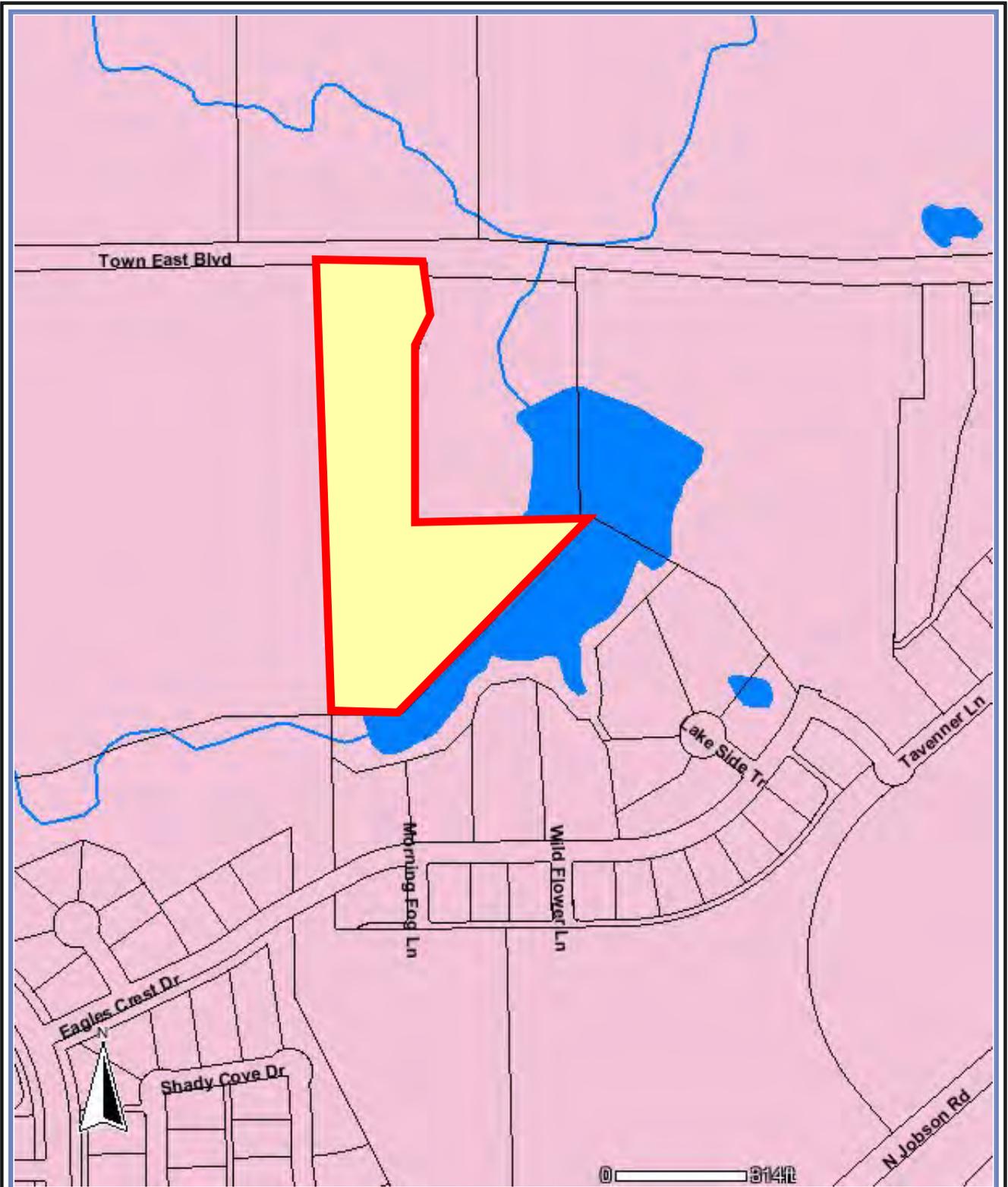
## **Staff Recommendation**

Town staff has the following comments/recommendation for consideration:

1. Town staff recommends approval. Town staff comments must be satisfactorily addressed prior to construction.

## **Attachments**

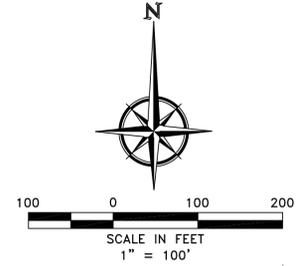
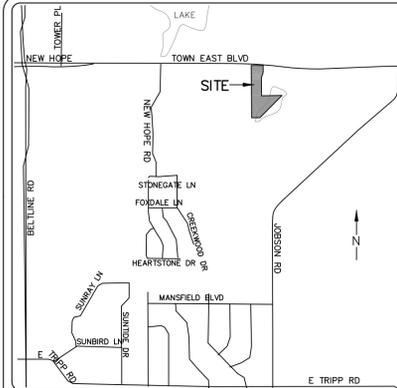
- Location Map
- Proposed preliminary plat



Dallas Central  
Appraisal District  
[www.dallascad.org](http://www.dallascad.org)

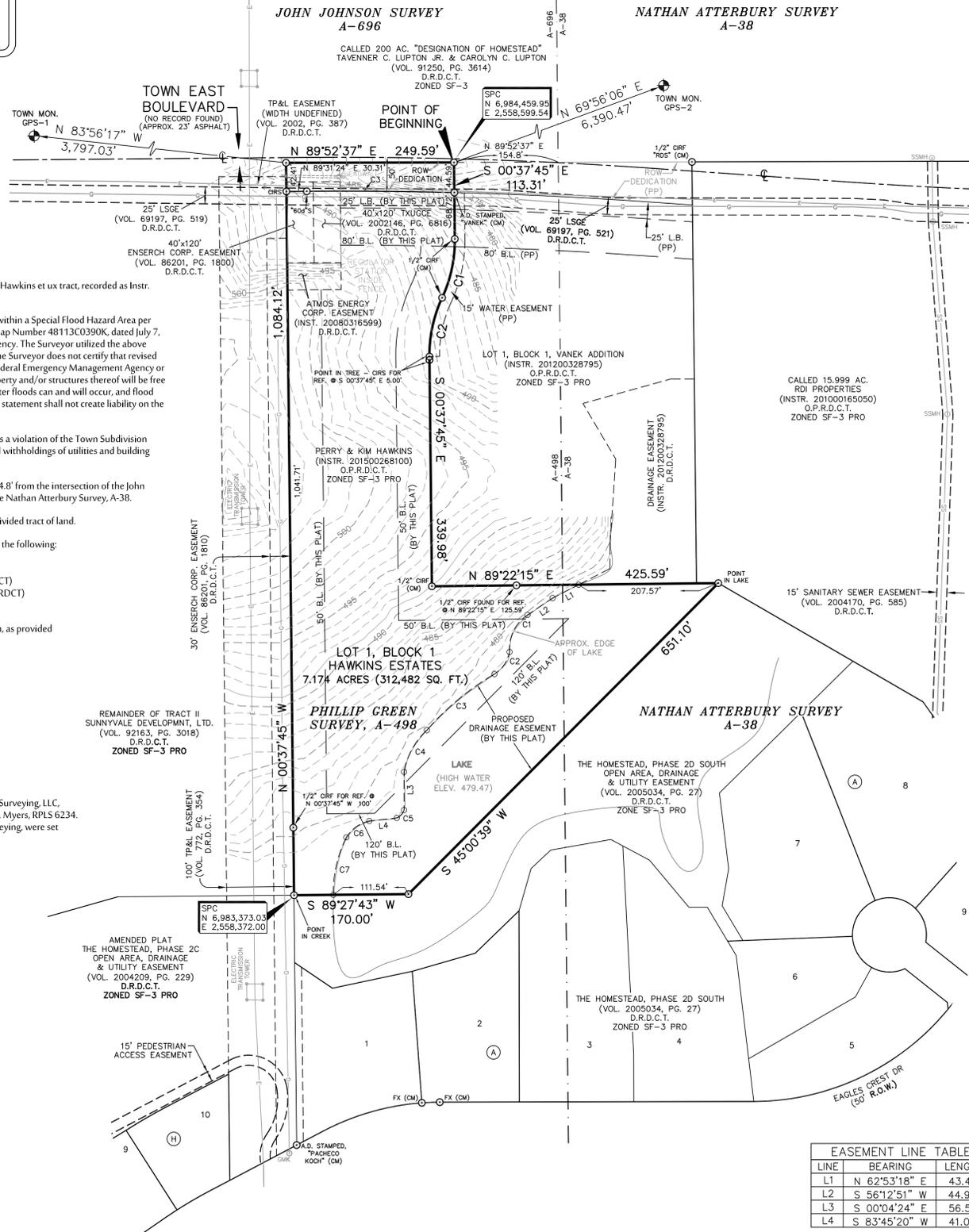
**DISCLAIMER**

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.



BOUNDARY CURVE DATA:

<b>C1:</b> D=25'43"54" R=200.00' L=89.82' T=45.68' CHD=S 12'14"12" W 89.07'	<b>C2:</b> D=25'43"54" R=200.00' L=89.82' T=45.68' CHD=S 12'14"12" W 89.07'	<b>C3:</b> D=01'56"54" R=6450.00' L=219.33' T=109.68' CHD=S 89'30"09" E 219.32'
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NOTES:

- Basis of Bearing being N 89°52'37" E for the north line of Perry Hawkins et ux tract, recorded as Instr. 201500268100, D.R.D.C.T.
- By graphical plotting, the parcel described herein does not lie within a Special Flood Hazard Area per Flood Insurance Rate Map, Map Number 48113C0380L and Map Number 48113C0390K, dated July 7, 2014, as published by the Federal Emergency Management Agency. The Surveyor utilized the above referenced floodplain information for this determination and the Surveyor does not certify that revised floodplain information has or has not been published by the Federal Emergency Management Agency or some other source. This statement does not imply that the property and/or structures thereof will be free from flooding or flood related damage. On rare occasions, greater floods can and will occur, and flood heights may be increased by man-made or natural causes. This statement shall not create liability on the part of the surveyor.
- Notice: Selling a portion of this addition by metes and bounds is a violation of the Town Subdivision Ordinance and state platting statutes and is subject to fines and withholdings of utilities and building certificates.
- The point of beginning bears approximately S 89°52'37" W, 154.8' from the intersection of the John Johnson Survey, A-696, the Phillip Green Survey, A-498, and the Nathan Atterbury Survey, A-38.
- The purpose of this plat is to create one lot from an un-subdivided tract of land.
- The subject property is affected by easements as shown and by the following: Master Declaration, Volume 99187, Page 5986 (DRDCT) Notice, Volume 2003252, Page 339 (DRDCT) Management Certificate, Volume 2002004, Page 7740 (DRDCT) Subordination Agreement, Volume 2005094, Page 10776 (DRDCT) Resale Contract, Volume 2005013, Page 2101 (DRDCT)
- Town of Sunnyvale Monuments GPS-1 and GPS-2 information, as provided by the Town of Sunnyvale, is as follows:  
  
Town of Sunnyvale Monument GPS-1  
Northing: 6,984,822.72  
Easting: 2,554,571.02  
Elevation: 535.81'  
  
Town of Sunnyvale Monument GPS-2  
Northing: 6,986,708.31  
Easting: 2,964,580.39  
Elevation: 431.50'
- All corners were either found in place or were set by RC Myers Surveying, LLC, Robert C. Myers, RPLS 3963, under the supervision of Teresa A. Myers, RPLS 6234. Teresa A. Myers, certifies that the corners set by RC Myers Surveying, were set under her supervision.

**LEGEND**

CIRS	5/8" IRON ROD WITH CAP STAMPED, "RPLS 3963," SET
1/2" CIRF	1/2" IRON ROD WITH CAP STAMPED, "RDS," FOUND
(CM)	CONTROL MONUMENT
A.D.	FOUND 3" ALUMINUM DISK
FX	FOUND "X" CUT
SPC	STATE PLANE COORDINATES
ROW	RIGHT-OF-WAY
B.L.	BUILDING SETBACK LINE
L.B.	LANDSCAPE BUFFER
LSGE	LONE STAR GAS EASEMENT
TXUGCE	TXU GAS CO. EASEMENT
(PP)	PER PLAT; INSTRUMENT NO. 201200328795
REF.	REFERENCE
VOL.	VOLUME
PG.	PAGE
INSTR.	INSTRUMENT NUMBER
D.R.D.C.T.	DEEDS RECORDS, DALLAS COUNTY, TEXAS
O.P.R.D.C.T.	OFFICIAL PUBLIC RECORDS, DALLAS COUNTY, TEXAS
---	PROPERTY LINE
---	ABSTRACT LINE
---	EASEMENT LINE
---	CENTERLINE

OWNER'S CERTIFICATE AND DEDICATION

WHEREAS Perry and Kim Hawkins are the owners of a 7.418 acre tract situated in the Phillip Green Survey, Abstract No. 498, Town of Sunnyvale, Dallas County, Texas, and being all of a called 7.418 acre tract of land described in a General Warranty Deed to Perry and Kim Hawkins, recorded as Instrument No. 201500268100 in the Official Public Records of Dallas County, Texas (OPRDCT), and being more particularly described as follows:

BEGINNING at a point for corner in the asphalt pavement of Town East Boulevard (an undedicated public road - no record found) at the most northerly northeast corner of said 7.418 acre tract and the northwest corner of Vanek Addition, an addition to the Town of Sunnyvale, according to the plat thereof recorded as Instrument No. 201200328795 (OPRDCT), from which a 3" Aluminum Disk stamped, "VANEK," found for reference bears South 00°37'45" East, a distance of 44.59 feet;

THENCE South 00°37'45" East along the common line of said 7.418 acre tract and said Vanek Addition, at 44.59 feet passing said 3" Aluminum Disk found for the northwest corner of Lot 1, Block 1 of said Vanek Addition and continuing for a total distance of 113.31 feet to a 1/2" iron rod with a cap stamped, "RDS," found for the beginning of a curve to the right, having a radius of 200.00 feet and a chord which bears South 12°14'12" West, a distance of 89.07 feet;

THENCE southwesterly, continuing along said common line and said curve to the right, through a central angle of 25°43'54", an arc length of 89.82 feet to a 1/2" iron rod with a cap stamped, "RDS," found for the beginning of a reverse curve to the left, having a radius of 200.00 feet and a chord which bears South 12°14'12" West, a distance of 89.07 feet;

THENCE southwesterly, continuing along said common line and said curve to the left, through a central angle of 25°43'54", an arc length of 89.82 feet to a point for the end of said curve, from which a 5/8" iron rod with a cap stamped, "RPLS 3963," set for reference bears South 00°37'45" East, a distance of 5.00 feet;

THENCE South 00°37'45" East, continuing along said common line, a distance of 339.98 feet to a 1/2" iron rod with a cap stamped, "RDS," found for the southwest corner of said Lot 1 and an interior "ell" corner of said 7.418 acre tract;

THENCE North 89°22'15" East along the south line of said Lot 1 and a north line of said 7.418 acre tract at 125.59 feet passing a 1/2" iron rod with a cap stamped, "RDS," found for reference, and at 393.34 feet passing the southeast corner of said Lot 1 and the southwest corner of a called 15.999 acre tract of land conveyed to RDI Properties, recorded in Instrument No. 201000165050 (OPRDCT), and continuing for a total distance of 425.59 feet to a point for corner in water at the most easterly northeast corner of said 7.418 acres, said point also being the most northerly corner of an Open Area, Drainage and Utility Easement, dedicated by the Final Plat of The Homestead, Phase 2B South, an addition to the Town of Sunnyvale, recorded as Volume 2005034, Page 27 in the Deed Records of Dallas County, Texas (DRDCT);

THENCE South 45°00'39" West along the common line of said 7.418 acre and said Phase 2B, a distance of 651.10 feet to an angle point for corner in water;

THENCE South 89°27'43" West continuing along last mentioned common line, a distance of 170.00 feet to a point for corner in water at the common west corner of said 7.418 acre tract and said Open Area, said point also being the northeast corner of an Open Area, Drainage and Utility Easement, dedicated by the Amended Plat of The Homestead, Phase 2C, an addition to the Town of Sunnyvale, recorded as Volume 2004209, Page 229 (DRDCT);

THENCE North 00°37'45" West along the west line of said 7.418 acre tract at 100.00 feet passing a 1/2" iron rod with a cap stamped, "RDS," found for reference, at 1041.71 feet passing a 5/8" iron rod with a cap stamped, "RPLS 3963," set for reference, and continuing for a total distance of 1,084.12 feet to a point for corner in the asphalt pavement of said Town East Boulevard at the northwest corner of said 7.418 acre tract;

THENCE North 89°52'37" East along the north line of said 7.418 acre tract, a distance of 249.59 feet to the PLACE OF BEGINNING and containing 7.418 acres, or 323,146 square feet, of land.

That I, Teresa A. Myers, Registered Professional Land Surveyor, do hereby certify that this plat was prepared from an actual and accurate survey of the land made on the ground and that the corner monuments shown thereon were properly placed under my personal supervision in accordance with the platting rules and regulations of the Town of Sunnyvale, Texas.

GIVEN UNDER MY SEAL OF OFFICE THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2016.

PRELIMINARY, this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document. This document was released 02/22/2016 for the Town of Sunnyvale's preliminary plat review process.

TERESA A. MYERS  
REGISTERED PROFESSIONAL LAND SURVEYOR  
STATE OF TEXAS NO. 6234

STATE OF TEXAS  
COUNTY OF DALLAS

Before me, a Notary Public in and for Dallas County, Texas, on this day personally appeared Teresa A. Myers, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that she executed the same for the purposes and consideration therein expressed.

Given under my hand and seal of office this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

Notary Public in and for Dallas County, Texas  
My commission expires: \_\_\_\_\_

**EASEMENT CURVE TABLE**

CURVE	DELTA	RADIUS	LENGTH	CHORD
C1	61°02'19"	60.00'	63.92'	S25°56'32"W 60.94'
C2	47°37'20"	49.00'	40.73'	N34°29'21"E 39.56'
C3	18°25'49"	407.00'	130.92'	S50°24'53"W 130.36'
C4	37°04'09"	111.00'	71.81'	S28°48'44"W 70.57'
C5	46°52'38"	20.00'	16.36'	N42°41'20"E 15.91'
C6	46°30'06"	53.00'	43.02'	S54°35'32"W 41.84'
C7	28°02'42"	180.00'	88.11'	S12°46'36"W 87.23'

**EASEMENT LINE TABLE**

LINE	BEARING	LENGTH
L1	N 62°53'18" E	43.41'
L2	S 56°12'51" W	44.97'
L3	S 00°04'24" E	56.51'
L4	S 83°45'20" W	41.04'

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT PERRY HAWKINS AND KIM HAWKINS do hereby adopt this plat, designating the herein above described property as HAWKINS ESTATES, an addition to the Town of Sunnyvale, Dallas County, Texas, and do hereby dedicate and convey, in fee simple, to public use forever, the streets and alleys as shown hereon. The easements shown thereon are hereby reserved for the purposes indicated. The easements and fire lanes shall be open to the public, fire and police units, garbage and rubbish collection agencies, and all public and private utilities for each particular use. The maintenance of paving on the utility easements and fire lanes is the responsibility of the property owner. No buildings, fences, trees, shrubs, or other improvements, obstructions, or growths shall be constructed, reconstructed or placed upon, over or across the easements and fire lanes as shown. Said easements being hereby reserved for the mutual use and accommodation of all public utilities using or desiring to use same. The Town of Sunnyvale shall have the right to remove and keep removed from fire lanes, all or parts of any building, fences, trees, shrubs, or other improvements, obstructions, or growths which in any way may endanger or interfere with access of fire units to fire protection facilities or equipment. All, and any public utility shall have the right to remove and keep removed all or parts of any building, fences, trees, shrubs, or other improvements or growths which in any way may endanger or interfere with the construction, maintenance or efficiency of its respective system on the easements, and all public utilities shall at all times have the full right of ingress and egress to or from and upon the said easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining and adding to or removing all or parts of its respective systems without the necessity at any time of procuring the permission of anyone. (Any public utility shall have the right of ingress and egress to private property for the purpose of reading meters and any maintenance or service required or ordinarily performed by that utility).

Water main and wastewater easement shall also include additional area of working space for construction and maintenance of the systems. Additional easement area is also conveyed for installation and maintenance of manholes, cleanouts, fire hydrants, water services a wastewater services from the main to the curb or pavement line, and description of such additional easements herein granted shall be determined by their location as installed.

This plat approved subject to all platting ordinances, rules, regulations, and resolutions of the Town of Sunnyvale, Texas.

WITNESS, my hand at Sunnyvale, Texas, this the \_\_\_\_\_ day of \_\_\_\_\_, 2016.

Perry Hawkins and Kim Hawkins

By: \_\_\_\_\_ Perry Hawkins  
By: \_\_\_\_\_ Kim Hawkins

STATE OF TEXAS  
COUNTY OF DALLAS

Before me, a Notary Public in and for Dallas County, Texas, on this day personally appeared Perry Hawkins and Kim Hawkins, known to me to be the persons whose names are subscribed to the foregoing instrument, and acknowledged to me that he and she executed the same for the purposes and consideration therein expressed.

Given under my hand and seal of office this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

Notary Public in and for Dallas County, Texas  
My commission expires: \_\_\_\_\_

APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE TOWN OF SUNNYVALE, TEXAS on this the \_\_\_\_\_ day of \_\_\_\_\_, 2016.

Chairman, Planning and Zoning Commission

APPROVED BY THE TOWN COUNCIL OF THE TOWN OF SUNNYVALE, TEXAS on this the \_\_\_\_\_ day of \_\_\_\_\_, 2016.

Mayor

ATTEST:  
Town Secretary

OWNER:  
PERRY AND KIM HAWKINS  
332 ROCKY POINT COURT  
SUNNYVALE, TEXAS 75182  
(214) 207-8789

SURVEYOR:  
LAND RESOLUTIONS, INC.  
5301 GREYSON DRIVE  
GARLAND, TEXAS 75043  
(214) 364-0263  
tmyerstxw@gmail.com  
FIRM NO.: 10193870  
JOB NO.: 011516

PRELIMINARY PLAT OF  
**HAWKINS ESTATES**  
LOT 1, BLOCK 1  
7.418 ACRES  
SITUATED IN THE  
PHILLIP GREEN SURVEY, ABSTRACT NO. 498  
TOWN OF SUNNYVALE, DALLAS COUNTY, TEXAS  
PREPARED: FEBRUARY 2, 2016



**Notice of Application for Preliminary plat  
Town of Sunnyvale  
Planning & Zoning Commission**

The Town of Sunnyvale has received a request from Teresa Myers, PE for a preliminary plat approval of Hawkins Estates, Lot 1 Block 1. The request will allow for the development of a single residence on the subject property. The location of the property, 320 Town East Blvd., is shown on the attached exhibit.

The Planning and Zoning Commission will hear this application on Monday, March 21, 2016 and the Town Council will consider the application on either Monday, March 28, 2016 or Monday, April 11, 2016. The hearings will be conducted in open session at Town Hall, 127 Collins Road at 7:00 P.M. If you have comments on this application, you may present them in person at these meetings or may submit written comments at any time on or before date of the hearings.

The preliminary plat application and supporting documents are on file at Town Hall and may be examined at no charge. For further information contact Rashad Jackson, Director of Development Services at (972) 203-4103 or [rashad.jackson@townofsunnyvale.org](mailto:rashad.jackson@townofsunnyvale.org).

- I am in favor of the preliminary plat
- I am opposed to the preliminary plat

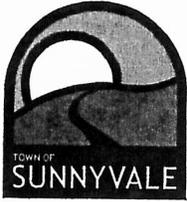
Explanation: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Signature: Ray Vaneck

Printed Name: RAY VANEK

Address: 304 TOWN EAST SUNNYVALE, TX 75182

Date: 3-15-16



**Notice of Application for Preliminary plat  
Town of Sunnyvale  
Planning & Zoning Commission**

The Town of Sunnyvale has received a request from Teresa Myers, PE for a preliminary plat approval of Hawkins Estates, Lot 1 Block 1. The request will allow for the development of a single residence on the subject property. The location of the property, 320 Town East Blvd., is shown on the attached exhibit.

The Planning and Zoning Commission will hear this application on Monday, March 21, 2016 and the Town Council will consider the application on either Monday, March 28, 2016 or Monday, April 11, 2016. The hearings will be conducted in open session at Town Hall, 127 Collins Road at 7:00 P.M. If you have comments on this application, you may present them in person at these meetings or may submit written comments at any time on or before date of the hearings.

The preliminary plat application and supporting documents are on file at Town Hall and may be examined at no charge. For further information contact Rashad Jackson, Director of Development Services at (972) 203-4103 or [rashad.jackson@townofsunnyvale.org](mailto:rashad.jackson@townofsunnyvale.org).

I am in favor of the preliminary plat

I am opposed to the preliminary plat

Explanation:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Signature:

*T.C. Luster*

Printed Name:

Address:

Date:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



# Town of Sunnyvale

March 28, 2016

Prepared By: **Rashad Jackson, AICP**  
**Director of Development Services**

## **Summary:**

**APPLICANT: HOLLY MONTIE, P.E.**  
**AT OR ABOUT: 520 CLAY ROAD**  
**REQUEST: MINOR PLAT – FLOWERS ADDITION (FLOWERS DIST CENTER)**

## **Background:**

The subject property is located at or about 520 Clay Road directly north of the Union Pacific Railroad and Scyene Road. The applicant has submitted a minor plat application for the development of an office warehouse building. The building will be used for by the Flowers Food Company for the distribution of baked goods. The subject property is approximately 3.048 acres in size. The applicant received approval for a site plan for the subject location in January 2016.

The proposed building lies with an Industrial zoning district. The Industrial District requires the following setbacks:

Front – 40'  
 Side – 25'  
 Rear – 25'

All utility easements and dedications required for development are shown on the plat. The minor plat is in conformance with the Town zoning and subdivision ordinance.

## **Public Notice**

Notice was published within the Town's Official Newspaper on March 2<sup>nd</sup>. Letters were also provided to surrounding properties meeting the distance requirements as provided within the Ordinance. Five (5) letters were sent. As of the writing of this staff memo, one (1) letter had been returned in favor of the request.

## **Planning & Zoning Recommendation – 3/21/16**

Chairman Demko called for a motion. Commissioner Moss made a motion to approve the request as submitted. Commissioner Vanek seconded. Chairman Demko called for a vote, the motion passed unanimously.

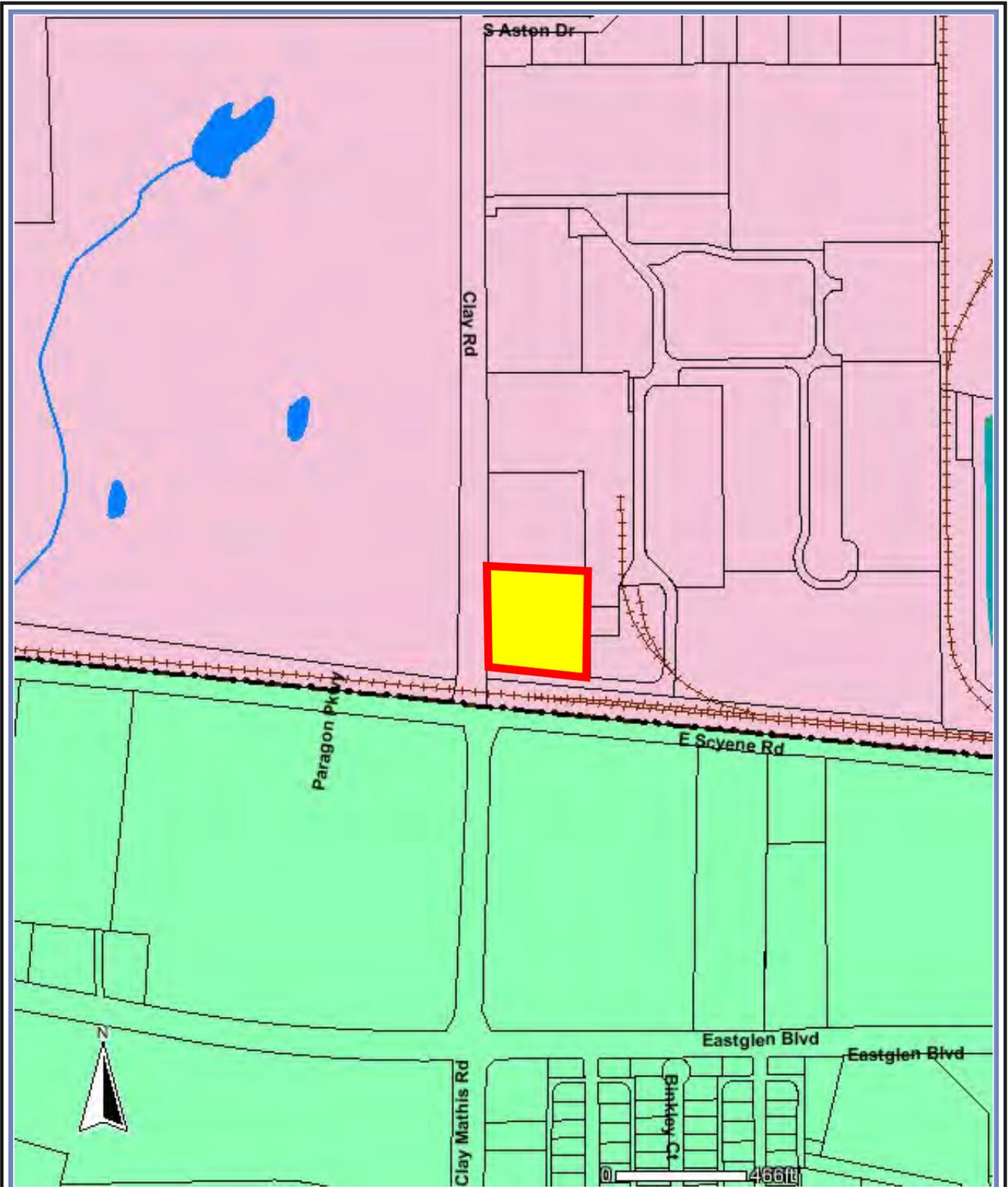
## **Staff Recommendation**

Town staff has the following comments/recommendation for consideration:

1. Staff recommends approval. Town staff comments must be satisfactorily addressed prior to construction.
2. Traffic signal improvements will need to be complete prior to the issuance of a Certificate of Occupancy for the proposed building.

**Attachments**

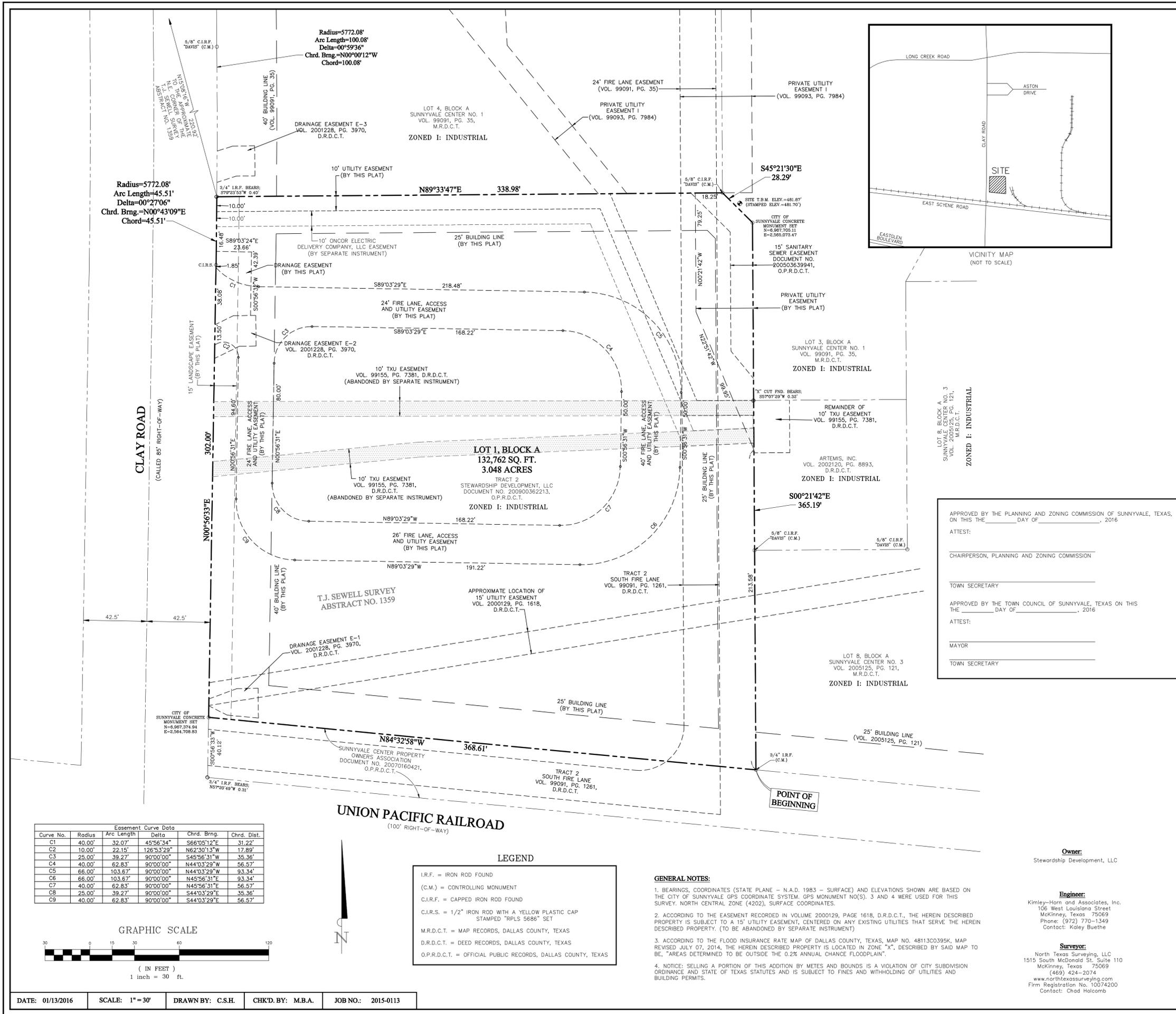
- Location Map
- Minor Plat Exhibits
- 400 ' notice response letter



Dallas Central  
Appraisal District  
www.dallascad.org

**DISCLAIMER**

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.



**OWNER'S DEDICATION:**

**STATE OF TEXAS §  
COUNTY OF DALLAS §**

WHEREAS, STEWARDSHIP DEVELOPMENT, LLC IS THE OWNER OF A TRACT OF LAND, SITUATED IN THE T.J. SEWELL SURVEY, ABSTRACT NO. 1359, IN THE CITY OF SUNNYVALE, DALLAS COUNTY, TEXAS, AND BEING ALL OF THAT CALLED 3.048 ACRE TRACT, DESCRIBED AS TRACT 2, BY DEED TO STEWARDSHIP DEVELOPMENT, LLC, AS RECORDED UNDER DOCUMENT NO. 20090362213, OF THE OFFICIAL PUBLIC RECORDS, DALLAS COUNTY, TEXAS (O.P.R.D.C.T.); SAID TRACT BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A 3/4" IRON ROD FOUND FOR THE SOUTHWESTERLY CORNER OF SAID TRACT 2, SAME BEING THE SOUTHWESTERLY CORNER OF LOT 8, BLOCK A, OF SUNNYVALE CENTER NO. 3, AS RECORDED IN VOLUME 2005125, PAGE 121, OF THE MAP RECORDS, DALLAS COUNTY, TEXAS (M.R.D.C.T.), SAID CORNER ALSO BEING IN THE NORTHEASTERLY LINE OF THAT TRACT OF LAND DESCRIBED BY DEED TO SUNNYVALE CENTER PROPERTY OWNERS ASSOCIATION, AS RECORDED UNDER DOCUMENT NO. 20070160421, O.P.R.D.C.T.;

THENCE NORTH 84°32'58" WEST, ALONG THE COMMON LINE BETWEEN SAID TRACT 2 AND SUNNYVALE CENTER PROPERTY OWNERS ASSOCIATION, A DISTANCE OF 368.61' TO A 1/2" IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "RPLS 5686" SET (HEREIN AFTER REFERRED TO AS A CAPPED IRON ROD SET) FOR THE SOUTHWESTERLY CORNER OF SAID TRACT 2, SAME BEING IN THE EASTERLY MONUMENTED LINE OF CLAY ROAD;

THENCE NORTH 00°56'33" EAST, ALONG SAID EASTERLY MONUMENTED LINE OF CLAY ROAD, SAME BEING THE WESTERLY LINE OF SAID TRACT 2, A DISTANCE OF 302.00' TO A CAPPED IRON ROD SET AT THE BEGINNING OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 5772.08', A CENTRAL ANGLE OF 00°27'06", AND A CHORD WHICH BEARS, NORTH 00°43'09" EAST, A CHORD DISTANCE OF 45.51'.

THENCE ALONG SAID CURVE TO THE RIGHT, IN A NORTHEASTERLY DIRECTION, AN ARC LENGTH OF 45.51' TO A POINT FOR CORNER BEING THE NORTHWESTERLY CORNER OF SAID TRACT 2, SAME ALSO BEING THE SOUTHWESTERLY CORNER OF LOT 4, BLOCK A, OF SUNNYVALE CENTER NO. 1, AN ADDITION TO THE CITY OF SUNNYVALE, AS RECORDED IN VOLUME 99091, PAGE 35, M.R.D.C.T., FROM WHICH A 3/4" IRON ROD FOUND BEARS, SOUTH 79°23'53" WEST, A DISTANCE OF 0.40';

THENCE NORTH 89°33'47" EAST, ALONG THE COMMON LINE BETWEEN SAID LOT 4 AND TRACT 2, A DISTANCE OF 338.98' TO A 5/8" IRON ROD WITH A PLASTIC CAP STAMPED "DAVIS" FOUND FOR AN ANGLE POINT OF SAID TRACT 2, SAME BEING THE SOUTHEASTERLY CORNER OF SAID LOT 4, SAID CORNER ALSO BEING AN ANGLE POINT OF LOT 3, OF SAID SUNNYVALE CENTER NO. 1;

THENCE SOUTH 45°21'30" EAST, ALONG THE COMMON LINE BETWEEN SAID LOT 3 AND TRACT 2, A DISTANCE OF 28.29' TO A 60D-NAIL FOUND FOR AN ANGLE POINT;

THENCE SOUTH 00°21'42" EAST, CONTINUING ALONG A COMMON LINE BETWEEN SAID LOT 3 AND TRACT 2, PASSING THE MOST SOUTHERLY SOUTHWESTERLY CORNER OF SAID LOT 3, SAME BEING THE NORTHWESTERLY CORNER OF THAT TRACT OF LAND DESCRIBED BY DEED TO ARTEMIS, INC., AS RECORDED IN VOLUME 2002120, PAGE 8993, OF THE DEED RECORDS, DALLAS COUNTY, TEXAS (D.R.D.C.T.), AT A DISTANCE OF 118.66', AND CONTINUING ALONG THE COMMON LINE BETWEEN SAID TRACT 2 AND ARTEMIS, INC. TRACT, PASSING A 5/8" IRON ROD WITH CAP STAMPED "DAVIS" FOUND FOR THE SOUTHWESTERLY CORNER OF SAID ARTEMIS INC. TRACT, SAME BEING THE MOST WESTERLY NORTHWEST CORNER OF THE AFOREMENTIONED LOT 8, AT A DISTANCE OF 218.66', AND CONTINUING ALONG THE COMMON LINE BETWEEN SAID LOT 8 AND TRACT 2, FOR A TOTAL DISTANCE OF 365.19' TO THE POINT OF BEGINNING AND CONTAINING 3.048 ACRES OF LAND, MORE OR LESS.

**NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:**

THAT, Stewardship Development, LLC, is the sole owner of the above described property and does hereby adopt this Minor Plat designating the hereinabove described property as **FLOWERS ADDITION - LOT 1, BLOCK A** and does hereby dedicate to the public use forever, the streets, alleys and public use areas shown hereon; the easements, as shown, for mutual use and accommodation of the Town of Sunnyvale and all public utilities desiring to use or using same. All and any public utility and the Town of Sunnyvale shall have the right to remove and keep removed all or parts of any building, fences, shrubs, trees or other improvements or growths which in any way, endanger or interfere with the construction, maintenance or efficiency of it's respective systems on said easements; and the Town of Sunnyvale and all public utilities shall have the right to construct, reconstruct, inspect, patrol, maintain and add to or remove all or parts of it's respective systems without the necessity of, at anytime, procuring the permission of anyone. This plat is approved subject to all platting ordinances, rules, regulations and resolutions of the Town of Sunnyvale.

WITNESS MY HAND at Sunnyvale, Texas, this the \_\_\_\_\_ day of \_\_\_\_\_, 2016.

**STEWARDSHIP DEVELOPMENT, LLC**

NAME - TITLE \_\_\_\_\_

**STATE OF TEXAS §  
COUNTY OF COLLIN §**

BEFORE ME, the undersigned, a Notary Public in and for the State of Texas, on this day personally appeared \_\_\_\_\_ known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that the same is his act and deed in the capacity therein stated and for the purposes therein expressed.

WITNESS MY HAND AND SEAL OF OFFICE on this, the \_\_\_\_\_ day of \_\_\_\_\_, 2016.

NOTARY PUBLIC in and for the State of Texas.

**SURVEYOR'S CERTIFICATE**

**KNOW ALL MEN BY THESE PRESENTS:**

THAT I, MICHAEL B. ARTHUR, do hereby certify that I prepared this plat from an actual on-the-ground survey of the above described property, and that the corner monuments shown hereon were found or were properly placed under my personal supervision in accordance with the Platting Rules and Regulations of the Town of Sunnyvale, Dallas County, Texas.

Michael B. Arthur  
Registered Professional Land Surveyor  
Texas Registration No. 5686

Date: \_\_\_\_\_

**STATE OF TEXAS §  
COUNTY OF COLLIN §**

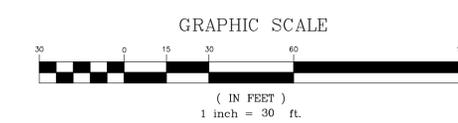
BEFORE ME, the undersigned, a Notary Public in and for the State of Texas, on this day personally appeared MICHAEL B. ARTHUR, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

WITNESS MY HAND AND SEAL OF OFFICE on this, the \_\_\_\_\_ day of \_\_\_\_\_, 2016.

NOTARY PUBLIC in and for the State of Texas



Curve No.	Radius	Arc Length	Delta	Chrd. Brng.	Chrd. Dist.
C1	40.00'	32.07'	45°56'34"	S66°05'12"E	31.22'
C2	10.00'	22.15'	126°53'29"	N62°30'13"W	17.89'
C3	25.00'	39.27'	90°00'00"	S45°56'31"W	35.36'
C4	40.00'	62.83'	90°00'00"	N44°03'29"W	56.57'
C5	66.00'	103.67'	90°00'00"	N44°03'29"W	93.34'
C6	66.00'	103.67'	90°00'00"	N45°56'31"E	93.34'
C7	40.00'	62.83'	90°00'00"	N45°56'31"E	56.57'
C8	25.00'	39.27'	90°00'00"	S44°03'29"E	35.36'
C9	40.00'	62.83'	90°00'00"	S44°03'29"E	56.57'



**UNION PACIFIC RAILROAD**  
(100' RIGHT-OF-WAY)

**LEGEND**

I.R.F. = IRON ROD FOUND  
 (C.M.) = CONTROLLING MONUMENT  
 C.I.R.F. = CAPPED IRON ROD FOUND  
 C.I.R.S. = 1/2" IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "RPLS 5686" SET  
 M.R.D.C.T. = MAP RECORDS, DALLAS COUNTY, TEXAS  
 D.R.D.C.T. = DEED RECORDS, DALLAS COUNTY, TEXAS  
 O.P.R.D.C.T. = OFFICIAL PUBLIC RECORDS, DALLAS COUNTY, TEXAS

**GENERAL NOTES:**

- BEARINGS, COORDINATES (STATE PLANE - N.A.D. 1983 - SURFACE) AND ELEVATIONS SHOWN ARE BASED ON THE CITY OF SUNNYVALE GPS COORDINATE SYSTEM, GPS MONUMENT NO(S). 3 AND 4 WERE USED FOR THIS SURVEY. NORTH CENTRAL ZONE (4202), SURFACE COORDINATES.
- ACCORDING TO THE EASEMENT RECORDED IN VOLUME 200129, PAGE 1618, D.R.D.C.T., THE HEREIN DESCRIBED PROPERTY IS SUBJECT TO A 15' UTILITY EASEMENT, CENTERED ON ANY EXISTING UTILITIES THAT SERVE THE HEREIN DESCRIBED PROPERTY. (TO BE ABANDONED BY SEPARATE INSTRUMENT)
- ACCORDING TO THE FLOOD INSURANCE RATE MAP OF DALLAS COUNTY, TEXAS, MAP NO. 48113C0395K, MAP REVISED JULY 07, 2014, THE HEREIN DESCRIBED PROPERTY IS LOCATED IN ZONE "X", DESCRIBED BY SAID MAP TO BE, "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN".
- NOTICE: SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF CITY SUBDIVISION ORDINANCE AND STATE OF TEXAS STATUTES AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING PERMITS.

**Owner:**  
Stewardship Development, LLC

**Engineer:**  
Kimley-Horn and Associates, Inc.  
106 West Louisiana Street  
McKinney, Texas 75069  
Phone: (972) 770-1349  
Contact: Kaley Buehne

**Surveyor:**  
North Texas Surveying, LLC  
1515 South McDonald St., Suite 110  
McKinney, Texas 75069  
(469) 424-2074  
www.northtexassurveying.com  
Firm Registration No. 10074200  
Contact: Chad Holcomb

**MINOR PLAT  
LOT 1, BLOCK A  
FLOWERS ADDITION**  
132,762 Sq. Ft. / 3.048 Acres  
in the  
T.J. Sewell Survey ~ Abstract No. 1359  
Town of Sunnyvale, Dallas County, Texas  
Date: February, 2016 Scale: 1" = 30'



**Notice of Application for Minor Plat  
Town of Sunnyvale  
Planning & Zoning Commission**

The Town of Sunnyvale has received a request from Holly Montie, PE for a minor plat approval of Flowers Distribution Center. The applicant proposes to construct an office/warehouse on the subject property. The location of the property, 520 Clay Road, is shown on the attached exhibit.

The Planning and Zoning Commission will hear this application on Monday, March 21, 2016 and the Town Council will consider the application on either Monday, March 28, 2016 or Monday, April 11, 2016. The hearings will be conducted in open session at Town Hall, 127 Collins Road at 7:00 P.M. If you have comments on this application, you may present them in person at these meetings or may submit written comments at any time on or before date of the hearings.

The minor plat application and supporting documents are on file at Town Hall and may be examined at no charge. For further information contact Rashad Jackson, Director of Development Services at (972) 203-4103 or [rashad.jackson@townofsunnyvale.org](mailto:rashad.jackson@townofsunnyvale.org).

I am in favor of the minor plat

I am opposed to the minor plat

Explanation:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Signature:

*David W. Jackson*  
\_\_\_\_\_

Printed Name:

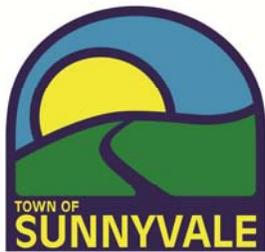
DAVID W. JACKSON  
\_\_\_\_\_

Address:

8216 TANGIER DR. FROSCO, TX 75033  
\_\_\_\_\_

Date:

3/17/16  
\_\_\_\_\_



# Town of Sunnyvale

MARCH 28, 2016

**Prepared By: Rashad Jackson, AICP  
Director of Development Services**

**Summary:**

**APPLICANT:** STONE CANYON EAST, L.P. (DAVID GOODHART)  
**AT OR ABOUT:** 7.5 ACRES SOUTH OF STONE CANYON DRIVE AND  
**BOULDER** LANE  
**REQUEST:** PRELIMINARY PLAT – STONE CANYON EAST –  
 PHASE 5A

**Background:**

The subject property is located within the Stone Canyon East subdivision. The zoning district designation for the property is Single Family Residential 4 - Planned Residential Overlay (SF-4 PRO). The regulations associated with this development were established with Ordinance No. 413, which guides the development of this subdivision.

The number of dwelling units allowed within Stone Canyon East is not to exceed 120 residential homes. The preliminary plat proposes to create twelve (12) residential lots on 7.5 acres within the Stone Canyon East development. If the preliminary plat is approved, the total number of lots platted for development in Stone Canyon East would equal 61. Currently phase 4 (49 lots) is the only phase platted within Stone Canyon East.

**Ordinance No. 413 Development Standards**

Upon review, it would appear that all proposed lots would adhere to the Ordinance No. 413 requirements. All proposed lots range from approximately 13,000 sq. ft. to 17,000 sq. ft. in size. Development standards stipulate a minimum lot size of 12,000 sq. ft. within Stone Canyon East. Each lot will be required to have a 40' front setback, 30' rear setback and 12' side setback. Overall density shall not exceed 1.4 dwelling units per gross usable acre within Stone Canyon East. The developer will need to assure this requirement is met as the development continues to develop in multiple phases.

A minimum of 29 acres of open space is required within Stone Canyon East as shown on the approved concept plan. As submitted, the plans meet the proposed plan for the subject area. Approximately 2.4 acres of open space will be developed with this preliminary plat. A pond with landscaping and an 8 foot concrete walk is proposed. As phases continue to develop, the applicant will need to assure that the open space requirement is met.

**Phase Adjustment**

The original 2005 concept plan for Stone Canyon East called for the subject area to be developed as part of a larger 24 acre tract, noted as Phase 2. The applicant proposes to divide Phase 2 of the concept plan into 3 smaller phases, currently proposed as Phase 5A, Phase 5B and Phase 5C. The applicant has submitted a preliminary plat in accordance with this proposed phase change. Section VIII of the Stone Canyon PRO ordinance allows for the "reconfiguration of phases as to acreage, number of dwelling units and residential density." The ordinance allows for adjustments to be made as the subdivision continues to develop.

Concept Plan

Staff records indicate that the last revision to the Stone Canyon East concept plan was done in 2005. Since then, several small amendments have been made to the original concept. For clarity and consistency, Town staff has requested the submission of an updated concept plan, particularly if the intent is to develop the rest of the Stone Canyon East subdivision as multiple phases other than what is noted on the original concept plan. An up to date concept plan should be submitted that truly reflects the proposed phasing and current lot configuration of the subdivision. The revised concept should be submitted prior to or with the submittal for the next phase. Comparing the proposed plat to the existing 2005 concept plan and PRO ordinance, it appears that the development is proceeding in accordance with the concept plan and PRO regulations. In order to continue to assure consistency with the PRO regulations, a new concept plan should be submitted. Current density and lot count is included as a “density memo” with the staff report. The memo notes the density and lot count in comparison to the approved 2005 concept plan.

**Public Notice**

Public notice was provided to the Town’s Official Newspaper for publication on March 2nd, 2016. Letters were also sent to property owners’ within 400’ on March 10th, 2016. The total number of letters sent was twenty-nine (29). As of the release of the staff memo, no response had been received.

**Planning & Zoning Commission Recommendation – 3/21/16**

Chairman Demko called for a motion. Commissioner Okafor made a motion to approve the request as submitted. Commissioner Vanek seconded. Chairman Demko called for a vote, the motion passed unanimously.

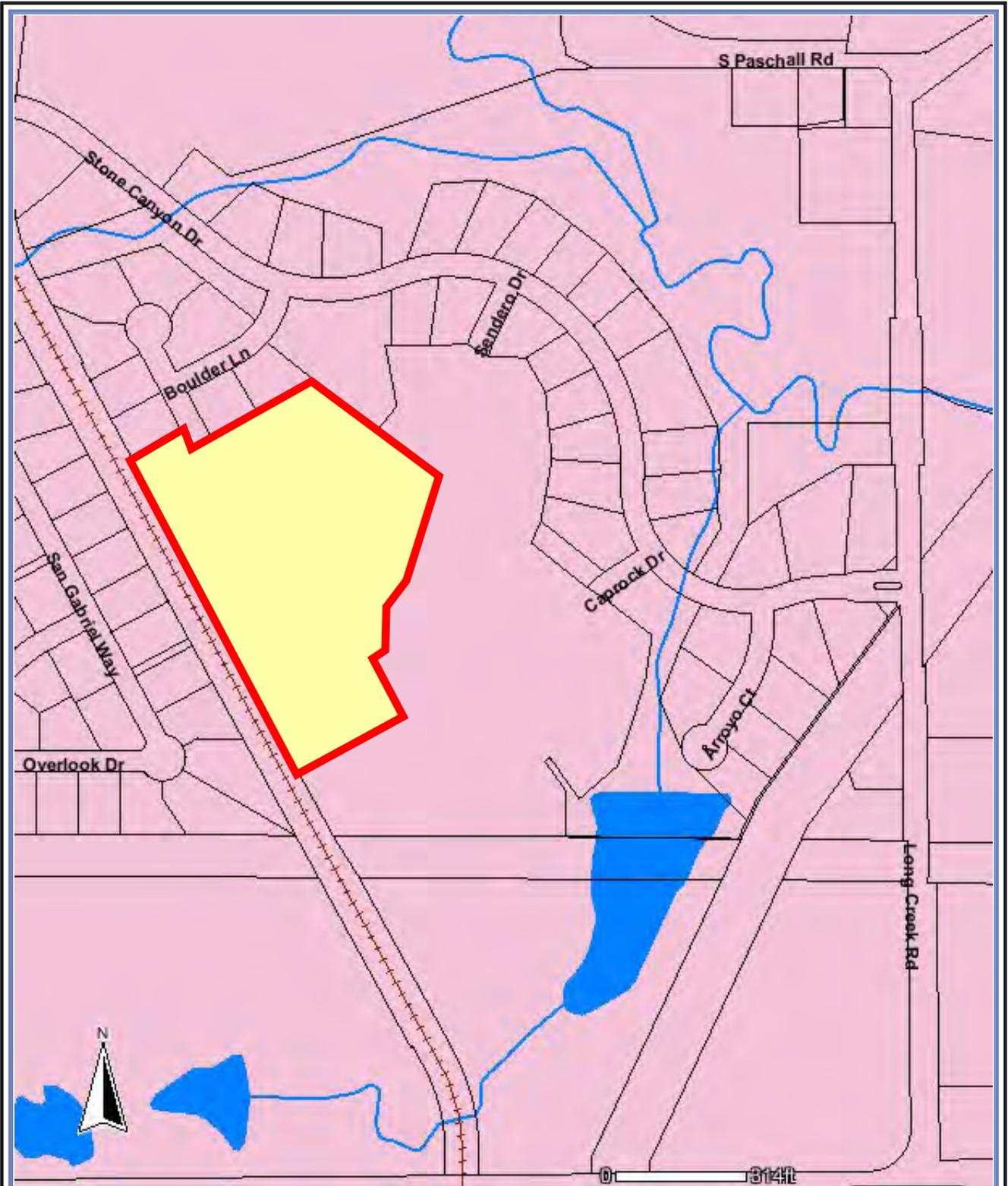
**Staff Recommendation**

Staff recommends approval. The request does not appear to have any detrimental effects to the development. The request meets the requirements of the Subdivision Ordinance as well as the regulations that have been established for the Stone Canyon PRO.

1. Staff records indicate that the last revision to the Stone Canyon PRO ordinance concept plan was done in 2005. Since then, several small plat amendments were done since the initial adoption of the Stone Canyon PRO, which the ordinance allows for. Staff suggests that a revised concept plan for Stone Canyon East be submitted to update Town records. An up to date concept plan should be submitted that truly reflects the proposed phasing and current lot configuration of the subdivision. The revised concept should be submitted prior to or with the submittal for the next phase. Please see attached 2005 example.

**Attachments**

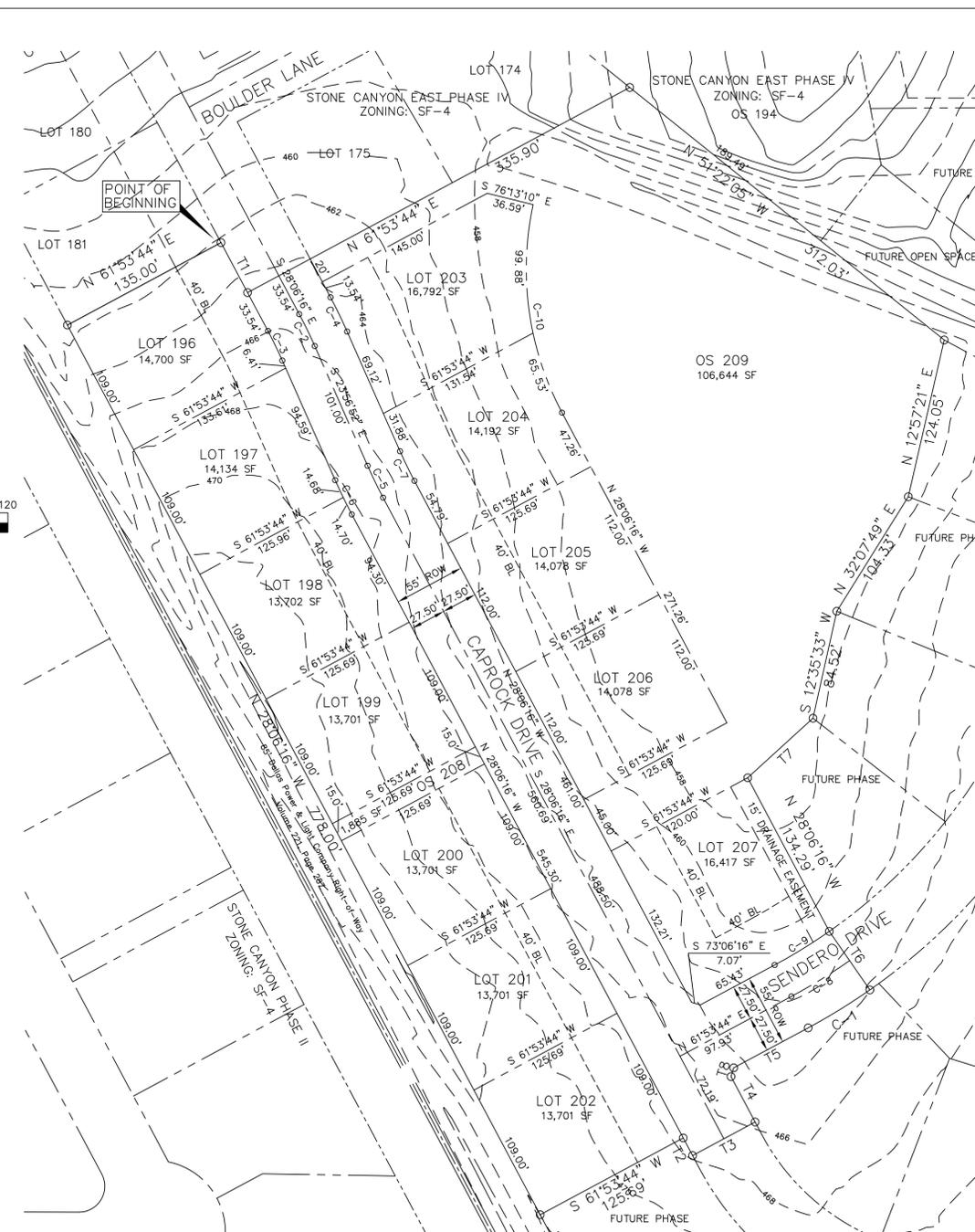
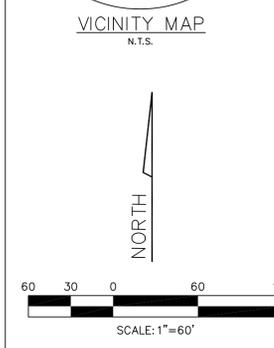
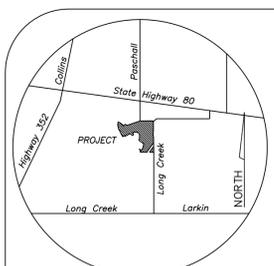
- Location Map
- Preliminary Plat – Stone Canyon East, Phase 5A
- Landscape Plan – Stone Canyon East, Phase 5A
- 2005 Concept Plan
- Density memo – current breakdown of density and lot count



Dallas Central  
Appraisal District  
www.dallascad.org

**DISCLAIMER**

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.



OWNER'S CERTIFICATE

STATE OF TEXAS: COUNTY OF DALLAS: WHEREAS, The Leon Goodhart Revocable Trust is the owner of all of that certain lot, tract or parcel of land situated in the Benjamin Crowover Survey, Abstract No. 344, Town of Sunnyvale, Dallas County, Texas, and being a part of that same tract of land described in deed as Tract 1 to Paul E. Cash, recorded in Volume 2003093, Page 8718 of the Deed Records of Dallas County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod found in the southwest R.O.W. line of Caprock Drive (a 55' R.O.W.) and being the east corner of Lot 181 of STONE CANYON EAST PHASE IV, an addition to the Town of Sunnyvale, Dallas County, Texas, recorded in Instrument Number 20070091958 of the Map Records of Dallas County, Texas;

THENCE S 28°06'16" E, 43.70' along the southwest line of Caprock Drive to a 1/2" iron rod found for corner;

THENCE N 61°53'44" E, along the southeast line of Caprock Drive, at 55' passing the south corner of Lot 175, and continuing along the southeast line of Lots 175 and 174 of the aforementioned Stone Canyon East Phase IV addition, a total distance of 335.90' to a 1/2" iron rod found at the east corner of said Lot 174 and being in the southwest line of Lot 194 (Open Space) of said addition and the southwest line of a 75' Lone Star Gas Company Easement, recorded in Volume 72146, Page 1932 of the Deed Records of Dallas County, Texas;

THENCE S 51°22'05" E, along the southwest line of said Lot 194 (Open Space) and 75' Lone Star Gas Company Easement, at 189.49' passing the south corner of Lot 194 (Open Space), and continuing along the southwest line of said 75' Lone Star Gas Company Easement, a total distance of 312.03' to a 5/8" iron rod set for corner;

THENCE S 12°57'21" W, departing said 75' Lone Star Gas Company Easement, 124.05' to a 5/8" iron rod set for corner;

THENCE S 32°07'49" W, 104.33' to a 5/8" iron rod set for corner;

THENCE S 12°35'33" W, 84.52' to a 5/8" iron rod set for corner;

THENCE S 47°44'52" W, 68.35' to a 5/8" iron rod set for corner;

THENCE S 28°06'16" E, 134.29' to a 5/8" iron rod set for corner;

THENCE S 34°50'31" E, 55.00' to a 5/8" iron rod set for corner at the beginning of a curve to the right having a central angle of 06°44'15" and a radius of 477.50' (Chord bearing S 58°31'37" W, 56.12');

THENCE in a southwesterly direction around said curve, a distance of 56.15' to a 5/8" iron rod set for corner;

THENCE S 61°53'44" W, 65.43' to a 5/8" iron rod set for corner;

THENCE S 16°53'44" E, 7.07' to a 5/8" iron rod set for corner;

THENCE S 28°06'16" E, 39.69' to a 5/8" iron rod set for corner;

THENCE S 61°53'44" W, 55.00' to a 5/8" iron rod set for corner;

THENCE N 28°06'16" W, 15.39' to a 5/8" iron rod set for corner;

THENCE S 61°53'44" W, 125.69' to a 5/8" iron rod set for corner in the northeast line of the Dallas Power and Light Company R.O.W., recorded in Volume 221, Page 287 of the Deed Records of Dallas County, Texas;

THENCE N 28°06'16" W, 778.00' along the northeast line of said Dallas Power and Light Company R.O.W. to a 5/8" iron rod set at the south corner of the aforementioned Lot 181 of said Stone Canyon East Phase IV addition;

THENCE N 61°53'44" E, 135.00' along the southeast line of said Lot 181 to the Point of Beginning and containing 329,470 square feet or 7.563 acres of land.

NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS:

That, The Leon Goodhart Revocable Trust, Paul E. Cash & Stone Canyon East LP, does hereby adopt this plat designating the herein above described property as STONE CANYON EAST PHASE V, an Addition in the Town of Sunnyvale, Dallas County, Texas, and do hereby dedicate and convey, in fee simple, to public use forever, the streets and alleys shown hereon. The easements shown hereon are hereby reserved for the purposes indicated. The easements and fire lanes shall be open to the public, fire and police units, garbage and rubbish collection agencies, and all public and private utilities for each particular use. The maintenance of paving on the utility easements and fire lanes is the responsibility of the property owner. No buildings, fences, trees, shrubs, or other improvements, obstructions or growths shall be constructed, reconstructed or placed upon, over or across the easements and fire lanes as shown. Said easements being hereby reserved for the mutual use and accommodation of all public utilities using or desiring to use same. The Town of Sunnyvale shall have the right to remove and keep removed from fire lanes, all or parts of any building, fences, trees, shrubs or other improvements, obstructions or growths which in any way may endanger or interfere with access of fire units to fire protection facilities or equipment. All, and any public utility shall have the right to remove and keep removed all or parts of any building, fences, trees, shrubs or other improvements or growths which in any way may endanger or interfere with construction, maintenance or efficiency of its respective system on the easements, and all public utilities shall at all times have the full right of ingress and egress to or from and upon the said easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining and adding to or removing all or parts of its respective systems without the necessity at any time or procuring the permission of anyone. (Any public utility shall have the right of ingress and egress to private property for the purpose of reading meters and any maintenance or service required or ordinarily performed by that utility.)

The easement, rights, and privileges granted by this conveyance are exclusive, and Owner covenants not to convey any other easement or conflicting rights in the area covered by this grant. The easements shown hereon shall be perpetual. Owner's heirs, personal representatives, successors, and assigns are and shall be bound to warrant and forever defend the easement and rights conveyed in this instrument against every person lawfully claiming or to claim all or any part of the interest in the Property.

Water main and waste water easements shall also include additional area of working space for construction and maintenance of the systems. Additional easement area is also conveyed for installation and maintenance of manholes, cleanouts, fire hydrants, water services and wastewater services from the main to the curb or pavement line, and description of such additional easements herein granted shall be determined by their location as installed.

This plat approved subject to all platting ordinances, rules, regulations and resolutions of the Town of Sunnyvale, Texas.

Witness my hand this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

THE LEON GOODHART REVOCABLE TRUST

By \_\_\_\_\_ DAVID GOODHART, TRUSTEE

STATE OF TEXAS COUNTY OF DALLAS

BEFORE ME, the undersigned authority, a Notary Public in and for said State, on this day personally appeared DAVID GOODHART, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE the \_\_\_\_\_ day of \_\_\_\_\_, 2016.

NOTARY PUBLIC in and for the State of Texas.

BOUNDARY LINE TABLE

Table with 3 columns: TANGENT, BEARING, LENGTH. Rows T1 through T8 with bearings and lengths.

CURVE TABLE

Table with 7 columns: CURVE, RADIUS, DELTA, TANGENT, LENGTH, CHORD, BEARING. Rows C-2 through C-10 with curve data.

BOUNDARY CURVE TABLE

Table with 7 columns: CURVE, RADIUS, DELTA, TANGENT, LENGTH, CHORD, BEARING. Row C-1 with curve data.

KNOW ALL MEN BY THESE PRESENTS:

THAT, I, SCOTT DAVIS, do hereby certify that I have prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon were properly placed under my personal supervision in accordance with the Platting Rules and Regulations of the Planning and Zoning Commission of the Town of Sunnyvale.

RELEASED 02/22/2016 FOR REVIEW PURPOSES ONLY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE.

SCOTT DAVIS REGISTERED PROFESSIONAL LAND SURVEYOR No. 5111

PRELIMINARY PLAT STONE CANYON EAST PHASE V

LOTS 196 - 207 & OS208- 209 ZONING: SF-4 PRO USE: 12 RESIDENTIAL & 2 OPEN SPACE LOTS BENJAMIN CROWOVER SURVEY, ABSTRACT NO. 344 TOWN OF SUNNYVALE, DALLAS COUNTY, TEXAS

THE LEON GOODHART REVOCABLE TRUST OWNER 190 S COLLINS , SUITE 102 (972) 226-6600 SUNNYVALE, TEXAS 75182

DAVIS LAND SURVEYING SURVEYOR 9777 FERGUSON ROAD, STE 105 (214) 321-0569 DALLAS, TEXAS 75228

STATE OF TEXAS COUNTY OF DALLAS

BEFORE ME, the undersigned authority, a Notary Public in and for said County and State, on this day personally appeared SCOTT DAVIS, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein expressed and under oath stated that the statements in the foregoing certificate are true.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

Notary Public in and for the State of Texas

RECOMMENDED FOR APPROVAL this \_\_\_\_\_ day of \_\_\_\_\_, 2016 by the Planning and Zoning Commission of the Town of Sunnyvale, Texas.

Chairman of Planning & Zoning Commission Town Secretary

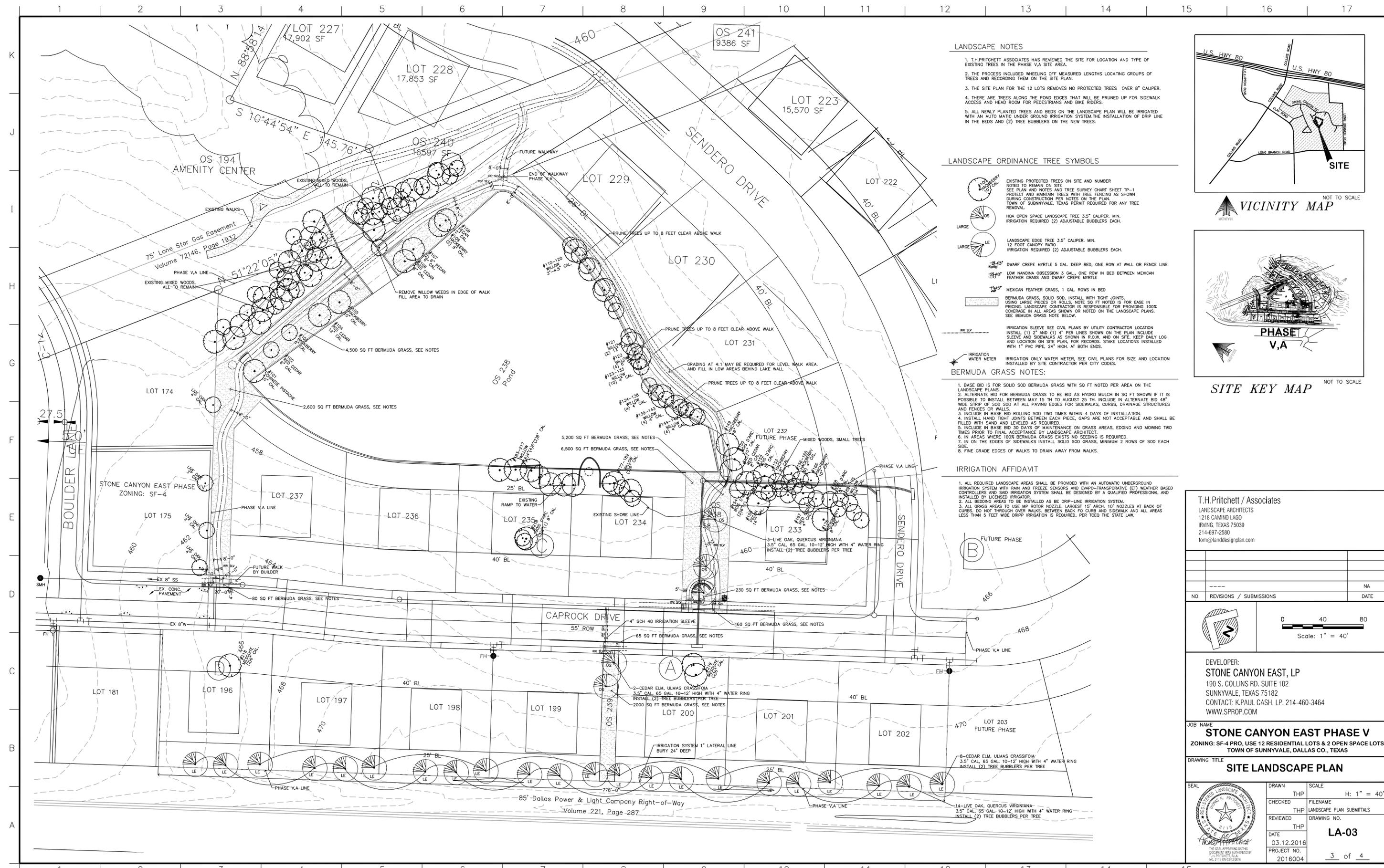
APPROVED this \_\_\_\_\_ day of \_\_\_\_\_, 2016 by the Town Council of Sunnyvale, Texas.

Mayor Town Secretary

- NOTES: 1. SELLING A PORTION OF THIS ADDITION BY METES & BOUNDS IS A VIOLATION OF TOWN SUBDIVISION ORDINANCE AND STATE PLATTING STATUTES AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING CERTIFICATES. 2. BASIS OF BEARING IS THE NORTHWEST LINE OF DEED TO PAUL E. CASH AS RECORDED IN VOLUME 99068, PAGE 2344 D.R.D.C.T. 3. ALL UTILITIES SHALL BE UNDERGROUND. 4. ALL OPEN SPACES ARE DRAINAGE & UTILITY EASEMENTS.

MARCH 2016

This plat is recorded in Document No. \_\_\_\_\_



LANDSCAPE NOTES

1. T.H.PRITCHETT ASSOCIATES HAS REVIEWED THE SITE FOR LOCATION AND TYPE OF EXISTING TREES IN THE PHASE V,A SITE AREA.
2. THE PROCESS INCLUDED WHEELING OFF MEASURED LENGTHS LOCATING GROUPS OF TREES AND RECORDING THEM ON THE SITE PLAN.
3. THE SITE PLAN FOR THE 12 LOTS REMOVES NO PROTECTED TREES OVER 8" CALIPER.
4. THERE ARE TREES ALONG THE POND EDGES THAT WILL BE PRUNED UP FOR SIDEWALK ACCESS AND HEAD ROOM FOR PEDESTRIANS AND BIKE RIDERS.
5. ALL NEWLY PLANTED TREES AND BEDS ON THE LANDSCAPE PLAN WILL BE IRRIGATED WITH AN AUTO MATIC UNDER GROUND IRRIGATION SYSTEM.THE INSTALLATION OF DRIP LINE IN THE BEDS AND (2) TREE BUBBLERS ON THE TREES.

LANDSCAPE ORDINANCE TREE SYMBOLS

EXISTING PROTECTED TREES ON SITE AND NUMBER NOTED TO REMAIN ON SITE  
SEE PLAN AND NOTES AND TREE SURVEY CHART TP-1 PROTECT AND MAINTAIN TREES WITH TREE FENCING AS SHOWN DURING CONSTRUCTION PER NOTES ON THE PLAN  
TOWN OF SUNNYVALE, TEXAS PERMIT REQUIRED FOR ANY TREE REMOVAL.

HOA OPEN SPACE LANDSCAPE TREE 3.5" CALIPER. MIN. IRRIGATION REQUIRED (2) ADJUSTABLE BUBBLERS EACH.

LANDSCAPE EDGE TREE 3.5" CALIPER. MIN. 12 FOOT CANOPY RATIO IRRIGATION REQUIRED (2) ADJUSTABLE BUBBLERS EACH.

DWARF CREPE MYRTLE 5 GAL. DEEP RED, ONE ROW AT WALL OR FENCE LINE

LOW NANDINA OBSESSION 3 GAL., ONE ROW IN BED BETWEEN MEXICAN FEATHER GRASS AND DWARF CREPE MYRTLE

MEXICAN FEATHER GRASS, 1 GAL. ROWS IN BED

BERMUDA GRASS, SOLID SOD, INSTALL WITH TIGHT JOINTS, USING LARGE PIECES OR ROLLS, NOTE SQ FT NOTED IS FOR EASE IN PRICING. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR PROVIDING 100% COVERAGE IN ALL AREAS SHOWN OR NOTED ON THE LANDSCAPE PLANS. SEE BERMUDA GRASS NOTE BELOW.

IRRIGATION SLEEVE SEE CIVIL PLANS BY UTILITY CONTRACTOR LOCATION INSTALL (1) 2" AND (1) 4" PER LINES SHOWN ON THE PLAN INCLUDE SLEEVE AND SIDEWALKS AS SHOWN IN R.O.W. AND ON SITE. KEEP DAILY LOG AND LOCATION ON SITE PLAN, FOR RECORDS. STAKE LOCATIONS INSTALLED WITH 1" PVC PIPE, 24" HIGH, AT BOTH ENDS.

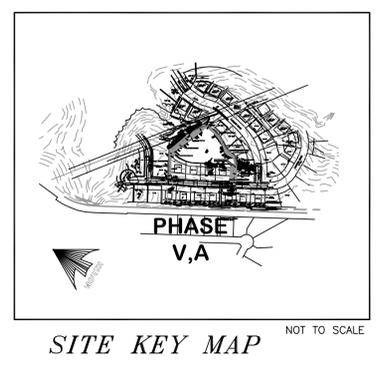
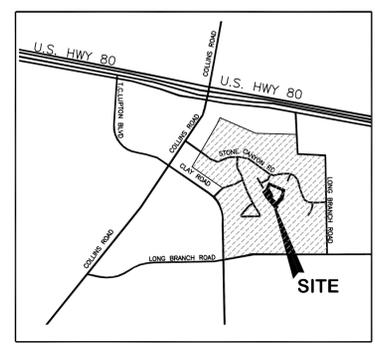
IRRIGATION WATER METER IRRIGATION ONLY WATER METER, SEE CIVIL PLANS FOR SIZE AND LOCATION INSTALLED BY SITE CONTRACTOR PER CITY CODES.

BERMUDA GRASS NOTES:

1. BASE BID IS FOR SOLID SOD BERMUDA GRASS WITH SQ FT NOTED PER AREA ON THE LANDSCAPE PLANS.
2. ALTERNATE BID FOR BERMUDA GRASS TO BE BID AS HYDRO MULCH IN SQ FT SHOWN IF IT IS POSSIBLE TO INSTALL BETWEEN MAY 15 TH TO AUGUST 25 TH. INCLUDE IN ALTERNATE BID 48" WIDE STRIP OF SOD SOD AT ALL PAVING EDGES FOR SIDEWALKS, CURBS, DRAINAGE STRUCTURES AND FENCES OR WALLS.
3. INCLUDE IN BASE BID ROLLING SOD TWO TIMES WITHIN 4 DAYS OF INSTALLATION.
4. INSTALL HAND TIGHT JOINTS BETWEEN EACH PIECE, GAPS ARE NOT ACCEPTABLE AND SHALL BE FILLED WITH SAND AND LEVELED AS REQUIRED.
5. INCLUDE IN BASE BID 30 DAYS OF MAINTENANCE ON GRASS AREAS, EDGING AND MOWING TWO TIMES PRIOR TO FINAL ACCEPTANCE BY LANDSCAPE ARCHITECT.
6. IN AREAS WHERE 100% BERMUDA GRASS EXISTS NO SEEDING IS REQUIRED.
7. IN ON THE EDGES OF SIDEWALKS INSTALL SOLID SOD GRASS, MINIMUM 2 ROWS OF SOD EACH SIDE.
8. FINE GRADE EDGES OF WALKS TO DRAIN AWAY FROM WALKS.

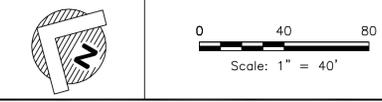
IRRIGATION AFFIDAVIT

1. ALL REQUIRED LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH RAIN AND FREEZE SENSORS AND EMPO-TRANSPORATIVE (ET) WEATHER BASED CONTROLLERS AND SAID IRRIGATION SYSTEM SHALL BE DESIGNED BY A QUALIFIED PROFESSIONAL AND INSTALLED BY LICENSED IRRIGATOR.
2. ALL BEDDING AREAS TO BE INSTALLED AS BE DRIP-LINE IRRIGATION SYSTEM.
3. ALL GRASS AREAS TO USE MP ROTOR NOZZLE, LARGEST 15" ARCH, 10' NOZZLES AT BACK OF CURBS, DO NOT THROUGH OVER WALKS, BETWEEN BACK TO CURB AND SIDEWALK AND ALL AREAS LESS THAN 5 FEET WIDE DRIPP IRRIGATION IS REQUIRED, PER TCEO THE STATE LAW.



T.H.Pritchett / Associates  
LANDSCAPE ARCHITECTS  
1218 CAMINO LAGO  
IRVING, TEXAS 75039  
214-697-2580  
tom@landdesignplan.com

NO.	REVISIONS / SUBMISSIONS	DATE



DEVELOPER:  
**STONE CANYON EAST, LP**  
190 S. COLLINS RD, SUITE 102  
SUNNYVALE, TEXAS 75182  
CONTACT: K.PAUL CASH, LP, 214-460-3464  
WWW.SPROP.COM

JOB NAME  
**STONE CANYON EAST PHASE V**  
ZONING: SF-4 PRO, USE 12 RESIDENTIAL LOTS & 2 OPEN SPACE LOTS  
TOWN OF SUNNYVALE, DALLAS CO., TEXAS

DRAWING TITLE  
**SITE LANDSCAPE PLAN**

SEAL: [Professional Seal]

DRAWN	THP	SCALE	H: 1" = 40'
CHECKED	THP	FILENAME	
REVIEWED	THP	LANDSCAPE PLAN SUBMITTALS	
		DRAWING NO.	
DATE	03.12.2016	<b>LA-03</b>	
PROJECT NO.	2016004		
			3 of 4



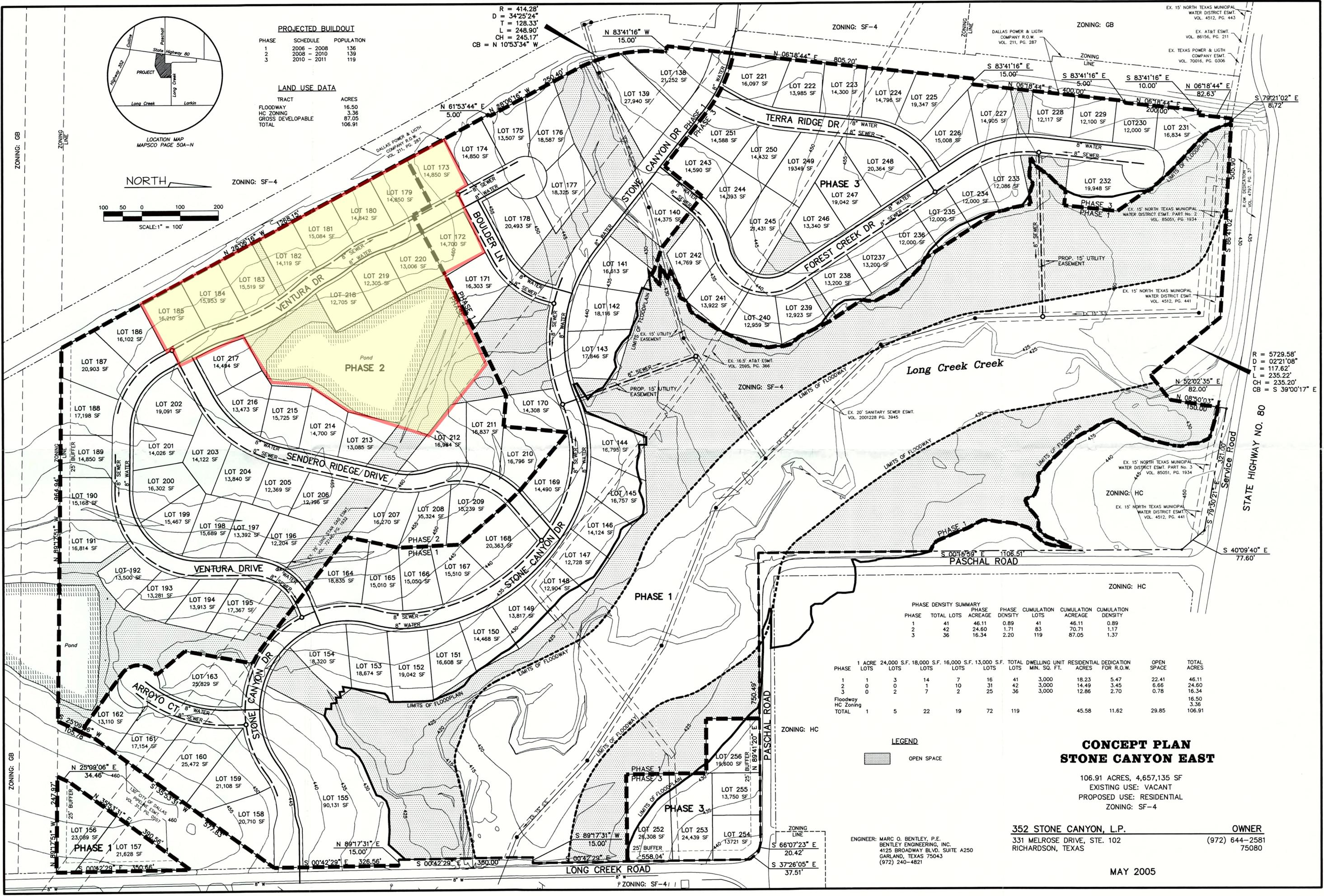
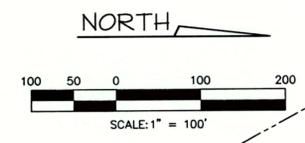
**PROJECTED BUILDOUT**

PHASE	SCHEDULE	POPULATION
1	2006 - 2008	136
2	2008 - 2010	139
3	2010 - 2011	119

**LAND USE DATA**

TRACT	ACRES
FLOODWAY	16.50
HC ZONING	3.36
GROSS DEVELOPABLE	87.05
TOTAL	106.91

R = 414.28'  
D = 3425.24'  
T = 128.33'  
L = 248.90'  
CH = 245.17'  
CB = N 10°53'34" W



**PHASE DENSITY SUMMARY**

PHASE	TOTAL LOTS	PHASE ACREAGE	PHASE DENSITY	CUMULATION LOTS	CUMULATION ACREAGE	CUMULATION DENSITY
1	41	46.11	0.89	41	46.11	0.89
2	42	24.60	1.71	83	70.71	1.17
3	36	16.34	2.20	119	87.05	1.37

PHASE	1 ACRE LOTS	24,000 S.F. LOTS	18,000 S.F. LOTS	16,000 S.F. LOTS	13,000 S.F. LOTS	TOTAL LOTS	DWELLING UNIT MIN. SQ. FT.	RESIDENTIAL ACRES	DEDICATION FOR R.O.W.	OPEN SPACE	TOTAL ACRES
1	1	3	14	7	16	41	3,000	18.23	5.47	22.41	46.11
2	0	0	1	10	31	42	3,000	14.49	3.45	6.66	24.60
3	0	2	7	2	25	36	3,000	12.86	2.70	0.78	16.34
Floodway											16.50
HC Zoning											3.36
TOTAL	1	5	22	19	72	119		45.58	11.62	29.85	106.91

**LEGEND**

OPEN SPACE

**CONCEPT PLAN  
STONE CANYON EAST**

106.91 ACRES, 4,657,135 SF  
EXISTING USE: VACANT  
PROPOSED USE: RESIDENTIAL  
ZONING: SF-4

**352 STONE CANYON, L.P.**  
331 MELROSE DRIVE, STE. 102  
RICHARDSON, TEXAS

**OWNER**  
(972) 644-2581  
75080

ENGINEER: MARC O. BENTLEY, P.E.  
BENTLEY ENGINEERING, INC.  
4125 BROADWAY BLVD., SUITE A250  
GARLAND, TEXAS 75043  
(972) 240-4821

MAY 2005



# MEMO

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DATE: March 14, 2016

TO: Rashad Jackson  
Dir. of Development Services  
Town of Sunnyvale

FROM: Marc Bentley, P.E.

SUBJECT: Stone Canyon East Phase V

BEI No.: 2015104

PAGES: 1

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The following is a breakdown of the density and lot count in comparison with the approved concept plan:

Please note that Phase V is a portion of Phase 2 and the completed Phase IV is a portion of Phase 1 and 3 as shown on the original approved concept plan.

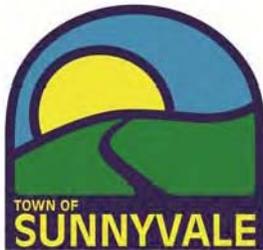
#### Approved concept plan Phase Density Summary

Phase	Lots	Acreage	Density	Open Space Acres
1	41	46.11	0.89	22.4
2	42	24.60	1.71	6.66

#### Projected Phase 2 with current proposed Phase V included and actual Phase IV.

Phase	Lots	Acreage	Density	Open Space Acres
1	49	48.31	1.01	21.09
2	42	21.3	1.97	3.13

It should be noted that the concept plan was prepared based on unsurveyed property and boundary was from deed records. The currently platted Phase IV and the proposed Phase V are based on surveys performed in the field. Based on using deed records verses actual surveys, the acreages will be skewed slightly. The proposed Phase V is in accordance with the approved concept plan with some minor deviations based on actual surveys of the property.



# Town of Sunnyvale

March 28, 2016

**Prepared By: Rashad Jackson, AICP**  
**Director of Development Services**

**Summary:**

**APPLICANT:** STONE CANYON EAST, L.P. (DAVID GOODHART)  
**AT OR ABOUT:** 1.411 ACRES AT STONE CANYON DRIVE AND BOULDER LANE  
**REQUEST:** REPLAT – STONE CANYON EAST – PHASE 4, LOT OS 192R & OS 193R

**Background:**

The subject property is located within the Stone Canyon East development. The zoning district designation is Single Family Residential 4 - Planned Residential Overlay (SF-4 PRO). The replat request is for a slight revision to existing open space lots within the development. Based on staff review of the original Stone Canyon Phase 4 final plat, it appears the subject parcels will be made slightly smaller in order to allow for better access and larger residential lots.

*Original square footage:*

Lot OS 192 – 107,133 square feet

Lot OS 193 – 9,927 square feet

*Proposed revised square footage:*

Lot OS 192R – 102,973 square feet

Lot OS 193R – 9,775 square feet

Staff has not found any other revisions related to this request. Town engineering staff has reviewed the proposed change and has no comments.

**Public Notice**

Public notice was provided to the Town's Official Newspaper for publication on March 2<sup>nd</sup>, 2016. Letters were also sent to property owners' within 400' on March 10<sup>th</sup>, 2016. The total number of letters sent was eighteen (18). As of the release of the staff memo, no response had been received.

**Planning & Zoning Commission Recommendation – 3/21/16**

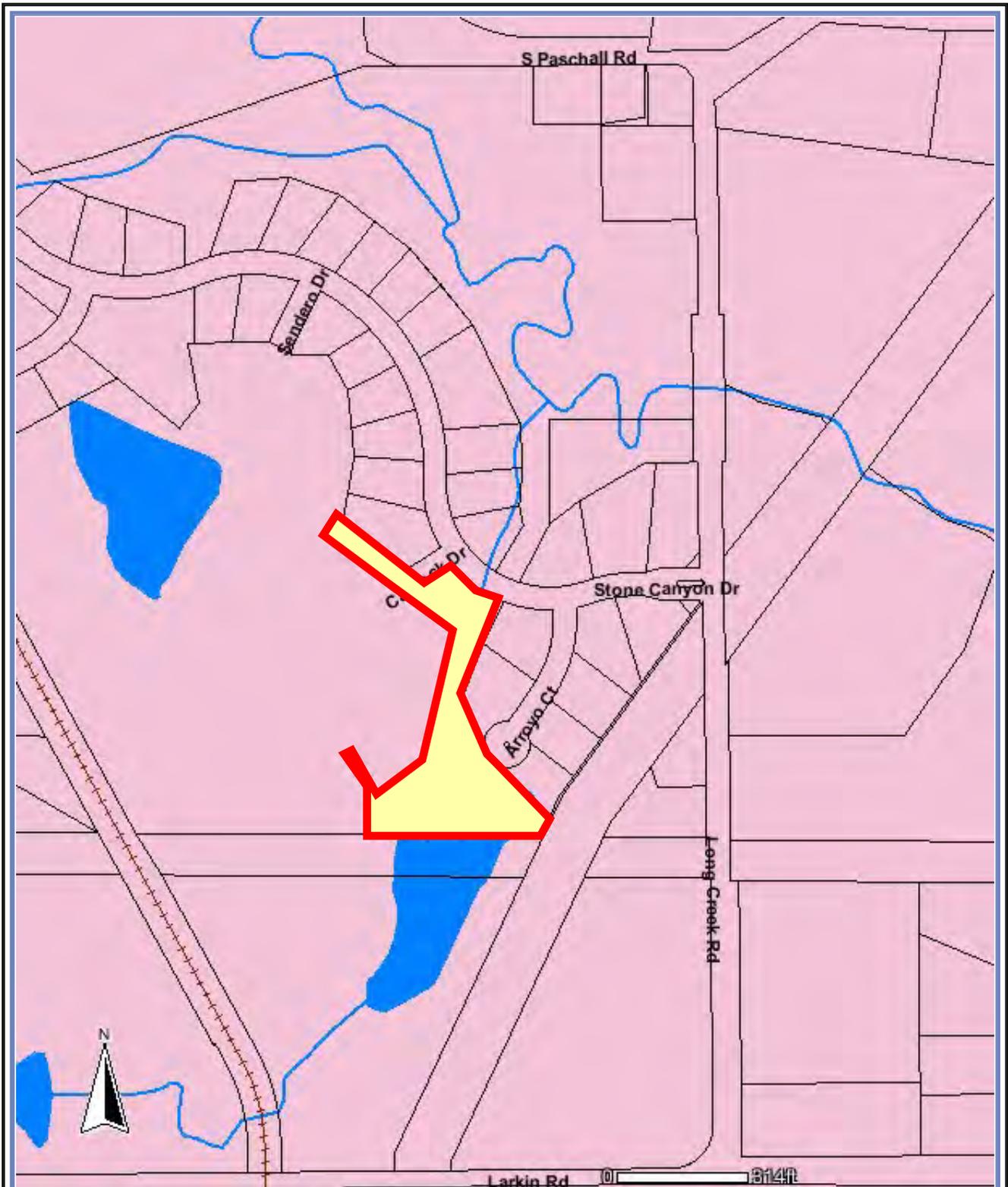
Chairman Demko called for a motion. Commissioner Okafor made a motion to approve the request as submitted. Commissioner Daniel seconded. Chairman Demko called for a vote, the motion passed unanimously.

**Staff Recommendation**

Staff recommends approval. The request does not appear to have any detrimental effects to the development. Town staff has found that the request meets the requirements of the Subdivision Ordinance as well as the regulations that have been established for the Stone Canyon PRO.

**Attachments**

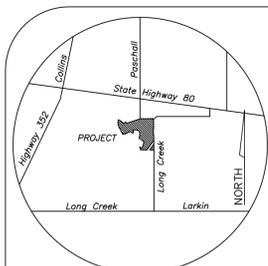
- Location Map
- Proposed replat, Stone Canyon East, Phase IV Lot OS 192R & OS 193R
- Original 2007 plat – Stone Canyon East, Phase IV



Dallas Central  
Appraisal District  
[www.dallascad.org](http://www.dallascad.org)

**DISCLAIMER**

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.



VICINITY MAP  
N.T.S.  
MAPSCO 50A-N

BOUNDARY LINE DATA				TANGENT BEARING LENGTH				SOFT LINE DATA				TANGENT BEARING LENGTH			
T1	N	44°45'13"	W	55.00'	T5	S	57°10'15"	W	34.50'	T5	S	57°10'15"	W	34.50'	
T2	S	32°49'45"	E	55.00'	T6	S	57°10'15"	W	38.33'	T6	S	57°10'15"	W	38.33'	
T3	N	57°10'15"	E	3.83'											
T4	S	25°09'06"	W	48.20'											

BOUNDARY CURVE DATA				CHORD BEARING				CURVE RADIUS DELTA TANGENT LENGTH CHORD BEARING									
C-1	177.50'	04°27'53"	6.92'	13.83'	13.83'	N	47°28'44"	E	C-4	177.50'	07°27'36"	11.57'	23.11'	23.09'	N	53°26'28"	E
C-2	302.50'	27°50'32"	74.98'	146.99'	146.99'	N	54°43'42"	W	C-5	122.50'	11°55'28"	12.79'	25.49'	25.45'	N	51°12'31"	E
C-3	55.00'	55°49'00"	29.13'	53.58'	51.49'	N	34°24'53"	W									

OWNER'S CERTIFICATE

STATE OF TEXAS:  
COUNTY OF DALLAS:

WHEREAS Paul E. Cash and Stone Canyon East, LP, are the owners of all of that certain lot, tract or parcel of land situated in the Benjamin Crownover Survey, Abstract No. 344, and being a part of that same tract of land described in deed as Tract 1 to Paul E. Cash, recorded in Volume 2003093, Page 8718 and part of that same tract of land described in deed to Stone Canyon East, LP, recorded in Instrument Number 20070045806 of the Deed Records of Dallas County, Texas; said tract being a part of Caprock Drive, part of Lot 192 (Open Space) and all of Lot 193 (Open Space) of STONE CANYON EAST PHASE IV, an addition to the Town of Sunnyvale, Dallas County, Texas, recorded in Instrument Number 20070091958 of the Map Records of Dallas County, Texas, and said composite tract being more particularly described as follows:

BEGINNING at a 1/2" iron rod found at the present intersection of the southeast R.O.W. line of Caprock Drive (a 55' R.O.W.) with the southwest R.O.W. line of Stone Canyon Drive (a 55' R.O.W.); said point being the beginning of a curve to the left having a central angle of 27°50'32" and a radius of 302.50' (Chord bearing S 54°43'42" E, 145.55');  
THENCE in a southeasterly direction along the southwest line of Stone Canyon Drive and around said curve, a distance of 147.00' to a 1/2" iron rod found at the north corner of Lot 165 of Stone Canyon East Phase IV addition;

THENCE S 26°19'37" W, 111.43' along the west line of said Lot 165 to a 1/2" iron rod found at the north corner of Lot 164 of said addition;

THENCE S 21°10'45" W, 138.39' along the west line of said Lot 164 to a 1/2" iron rod found for corner;

THENCE S 23°50'52" E, 128.69' along the southwest line of said Lot 164 to a 1/2" iron rod found for corner in the southwest R.O.W. line of Arroyo Court (a 55' R.O.W.) and the beginning of a curve to the left having a central angle of 55°49'00" and a radius of 55.00' (Chord bearing S 34°24'53" E, 51.49');

THENCE in a southeasterly direction along the southwest line of Arroyo Court and around said curve, a distance of 53.58' to a 1/2" iron rod found at the west corner of Lot 163 of said Stone Canyon East Phase IV addition;

THENCE S 44°58'54" E, 177.62' along the southwest line of said Lot 163 to a 1/2" iron rod found for corner in the northwest line of City of Dallas 130' Pipeline R.O.W., recorded in Volume 313, Page 557 of the Deed Records of Dallas County, Texas;

THENCE S 25°09'06" W, 48.20' along the northwest line of City of Dallas 130' Pipeline R.O.W. to a 1/2" iron rod found for corner in the south line of said Stone Canyon East Phase IV addition and the north line of the 100' Texas Utilities Electric Company R.O.W., recorded in Volume 229, Page 2073 of the Deed Records of Dallas County, Texas;

THENCE N 89°17'51" W, 355.09' along the south line of said addition and the north line of said 100' Texas Utilities Electric Company R.O.W. to a 5/8" iron rod set for corner;

THENCE N 00°00'44" E, 92.35' over and across the aforementioned Lot 192 (Open Space) to a 5/8" iron rod set for corner;

THENCE N 41°44'28" E, 102.42' to a 1/2" iron rod found for corner in the west line of said Lot 192 (Open Space);

THENCE N 18°41'47" E, 112.86' along the west line of said Lot 192 to a 1/2" iron rod found for corner;

THENCE N 16°55'24" E along the west line of said Lot 192, at 105.72' departing said west line and continuing a total distance of 176.76' to a 5/8" iron rod set for corner;

THENCE N 52°20'56" W, at 12.17' passing the southeast line of the remainder of the above mentioned Paul E. Cash property and continuing a total distance of 173.18' to a 5/8" iron rod set for corner in the proposed southeast line of Caprock Drive;

THENCE N 44°45'13" W, 55.00' to a 5/8" iron rod set for corner in the proposed northwest line of Caprock Drive and the beginning of a curve to the right having a central angle of 04°27'53" and a radius of 177.50' (Chord bearing N 47°28'44" E, 13.83');

THENCE in a northeasterly direction along the proposed northwest line of Caprock Drive and around said curve, a distance of 13.83' to a 5/8" iron rod set for corner in the southwest line of the aforementioned Lot 193 (Open Space);

THENCE N 51°29'56" W, 162.72' along the southwest line of said Lot 193 to a 1/2" iron rod found for corner;

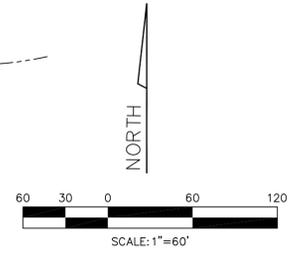
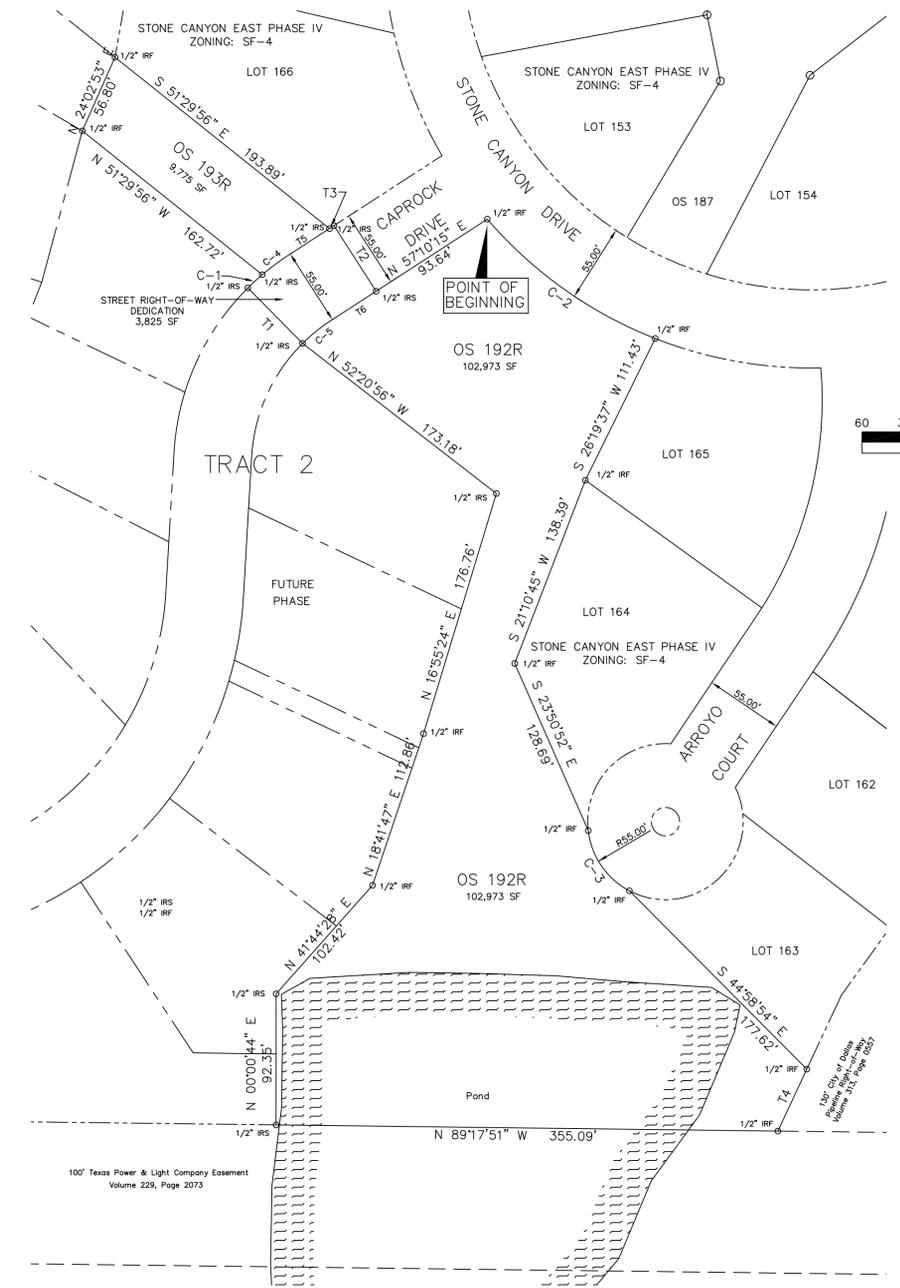
THENCE N 24°02'53" E, 56.80' along the northwest line of said Lot 193 to a 1/2" iron rod found for corner;

THENCE S 51°29'56" E, 193.89' along the northeast line of said Lot 193 to a 5/8" iron rod set for corner in the proposed northwest line of Caprock Drive;

THENCE N 57°10'15" E, 3.83' along the proposed northwest line of Caprock Drive to a 1/2" iron rod found for corner in the existing northwest line of Caprock Drive;

THENCE S 32°49'45" E, 55.00' to a 1/2" iron rod found for corner in the existing southeast line of Caprock Drive;

THENCE N 57°10'15" E, 93.64' along the existing southeast line of Caprock Drive to the Point of Beginning and containing 116,573 square feet or 2.676 acres of land.



PURPOSE FOR REPLAT:  
TO INCLUDE ADDITIONAL ATMOS ENERGY ROW INTO OPEN SPACE, TO RELOCATE ACCESS PATHWAY FROM CAPROCK DRIVE TO LAKE AREA AND REALIGN CURVE ON CAPROCK DRIVE.  
NOTES:  
1. SELLING A PORTION OF THIS ADDITION BY METES & BOUNDS IS A VIOLATION OF TOWN FINANCE ORDINANCE AND STATE PLATTING STATUES AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING CERTIFICATES.  
2. BASIS OF BEARING IS THE NORTHWEST LINE OF DEED TO PAUL E. CASH AS RECORDED IN VOLUME 9906B, PAGE 2344 D.R.D.C.T.  
3. ALL UTILITIES SHALL BE UNDERGROUND.  
4. ALL OPEN SPACES ARE DRAINAGE & UTILITY EASEMENTS.

RECOMMENDED FOR APPROVAL this \_\_\_\_\_ day of \_\_\_\_\_, 2016 by the Planning and Zoning Commission of the Town of Sunnyvale, Texas.  
Chairman of Planning & Zoning Commission \_\_\_\_\_ Town Secretary \_\_\_\_\_  
APPROVED this \_\_\_\_\_ day of \_\_\_\_\_, 2016 by the Town Council of Sunnyvale, Texas.  
Mayor \_\_\_\_\_ Town Secretary \_\_\_\_\_

KNOW ALL MEN BY THESE PRESENTS:

THAT, I, SCOTT DAVIS, do hereby certify that I have prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon were properly placed under my personal supervision in accordance with the Platting Rules and Regulations of the Planning and Zoning Commission of the Town of Sunnyvale.

RELEASED 02/22/2016 FOR REVIEW PURPOSES ONLY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE.  
SCOTT DAVIS  
REGISTERED PROFESSIONAL LAND SURVEYOR No. 5111

STATE OF TEXAS  
COUNTY OF DALLAS

BEFORE ME, the undersigned authority, a Notary Public in and for said County and State, on this day personally appeared SCOTT DAVIS, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein expressed and under oath stated that the statements in the foregoing certificate are true.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

Notary Public in and for the State of Texas

NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS:

That, The Leon Goodhart Revocable Trust, Paul E Cash & Stone Canyon East LP, does hereby adopt this plat designating the herein above described property as STONE CANYON EAST PHASE IV, OS 192R & OS 193R, an Addition in the Town of Sunnyvale, Dallas County, Texas, and do hereby dedicate and convey, in fee simple, to public use forever, the streets and alleys shown hereon. The easements shown hereon are hereby reserved for the purposes indicated. The easements and fire lanes shall be open to the public, fire and police units, garbage and rubbish collection agencies, and all public and private utilities for each particular use. The maintenance of paving on the utility easements and fire lanes is the responsibility of the property owner. No buildings, fences, trees, shrubs, or other improvements, obstructions or growths shall be constructed, reconstructed or placed upon, over or across the easements and fire lanes as shown. Said easements being hereby reserved for the mutual use and accommodation of all public utilities using or desiring to use same. The Town of Sunnyvale shall have the right to remove and keep removed from fire lanes, all or parts of any building, fences, trees, shrubs or other improvements, obstructions or growths which in any way may endanger or interfere with access of fire units to fire protection facilities or equipment. All, and any public utility shall have the right to remove and keep removed all or parts of any building, fences, trees, shrubs or other improvements or growths which in any way may endanger or interfere with construction, maintenance or efficiency of its respective system on the easements, and all public utilities shall at all times have the full right of ingress and egress to or from and upon the said easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining and adding to or removing all or parts of its respective systems without the necessity at any time or procuring the permission of anyone. (Any public utility shall have the right of ingress and egress to private property for the purpose of reading meters and any maintenance or service required or ordinarily performed by that utility.)

The easement, rights, and privileges granted by this conveyance are exclusive, and Owner covenants not to convey any other easement or conflicting rights in the area covered by this grant. The easements shown hereon shall be perpetual. Owner's heirs, personal representatives, successors, and assigns are and shall be bound to warrant and forever defend the easement and rights conveyed in this instrument against every person lawfully claiming or to claim all or any part of the interest in the Property.

Water main and waste water easements shall also include additional area of working space for construction and maintenance of the systems. Additional easement area is also conveyed for installation and maintenance of manholes, cleanouts, fire hydrants, water services and wastewater services from the main to the curb or pavement line, and description of such additional easements herein granted shall be determined by their location as installed.

This plat approved subject to all platting ordinances, rules, regulations and resolutions of the Town of Sunnyvale, Texas.

Witness my hand this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

STONE CANYON EAST, LP BY DOUBLE RIVER INVESTMENT CO. GENERAL PARTNER  
THE LEON GOODHART REVOCABLE TRUST  
By \_\_\_\_\_ DAVID GOODHART, TRUSTEE  
By \_\_\_\_\_ PAUL E CASH, PRESIDENT

By \_\_\_\_\_ PAUL E CASH

STATE OF TEXAS  
COUNTY OF DALLAS

BEFORE ME, the undersigned authority, a Notary Public in and for said State, on this day personally appeared PAUL E CASH, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE the \_\_\_\_\_ day of \_\_\_\_\_, 2016.

NOTARY PUBLIC in and for the State of Texas.

STATE OF TEXAS  
COUNTY OF DALLAS

BEFORE ME, the undersigned authority, a Notary Public in and for said State, on this day personally appeared DAVID GOODHART, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE the \_\_\_\_\_ day of \_\_\_\_\_, 2016.

NOTARY PUBLIC in and for the State of Texas.

REPLAT  
STONE CANYON EAST PHASE IV  
OS 192R & OS 193R  
ZONING: SF-4 PRO  
USE: RESIDENTIAL OPEN SPACE  
BEING A REPLAT OF OS 192, OS 193 & PORTION OF CAPROCK DRIVE AS RECORDED IN COUNTY CLERK INST 20070091958 BENJAMIN CROWNOVER SURVEY, ABSTRACT NO. 344 TOWN OF SUNNYVALE, DALLAS COUNTY, TEXAS

THE LEON GOODHART REVOCABLE TRUST OWNER  
190 S COLLINS , SUITE 102 (972) 226-6600  
SUNNYVALE, TEXAS 75182

DAVIS LAND SURVEYING SURVEYOR  
9777 FERGUSON ROAD, STE 105 (214) 321-0569  
DALLAS, TEXAS 75228

FEBRUARY 2016

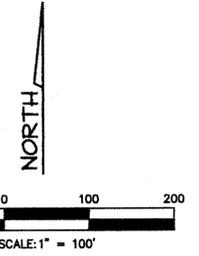
This plat is recorded in Document No. \_\_\_\_\_

PAUL E. CASH  
VOL. 2003093, PG. 8718  
DRDCT  
ZONING: SF-4

LIMITS OF 100 YEAR  
FLOOD PLAIN BASED  
ON STUDY PERFORMED  
BY NATIONWIDE WATER  
RESOURCES DATED 2006

BENCH MARKS  
GPS Monument No. 3 - Town of Sunnyvale Survey Marker  
set in concrete approach slab to East Fork Road overpass,  
6.45 feet north of south end of approach slab and 0.7 feet  
west of west face of east bridge.  
Elevation = 462.11  
GPS Monument No. 4 - Town of Sunnyvale Survey Marker  
set in concrete pier 2.6 feet west and 0.6 feet south of  
northwest corner of concrete meter vault. Dial is 0.5 feet  
below natural ground.  
Elevation = 495.50

NOTES  
1. All corners on the subject property are  
monumented with 5/8 inch iron rods set,  
unless otherwise noted.  
2. Selling property by metes and bounds is  
prohibited.  
WAIVERS REQUESTED  
1. LOTS SMALLER THAN PROPOSED STREET.



OPEN SPACE

LOT NO.	S.E.	ACCESS POINT
187	695,557	STREET
188	613	STREET
189	905	STREET
190	977	STREET
191	314	STREET
192	106,575	STREET
193	9,927	STREET
194	59,515	STREET
195	44,175	STREET
196	314	STREET

LAND USE DATA  
49 RESIDENTIAL LOTS 21.70 ACRES  
10 OPEN SPACE LOTS 21.09 ACRES  
PUBLIC R.O.W. 5.52 ACRES  
TOTAL 48.31 ACRES

7.233 Acres  
Lot 1, Block 1  
Long Creek North Addition  
Zoned: SF-4

Curve No.	Δ	R	T	L	CB	Curve No.	Δ	R	T	L	CB	Curve No.	Δ	R	T	L	CB
1	03°46'50"	227.50'	7.51'	15.01'	N.52°46'28"E	2	34°25'24"	414.28'	128.33'	248.90'	N.53°19'25"W	3	261°31'2"	377.50'	87.92'	172.75'	S.64°43'06"E
4	19°08'16"	300.00'	50.62'	100.29'	N.20°42'53"W	5	113°04'40"	500.00'	542.72'	N.29°37'55"W	6	65°41'40"	322.81'	573.28'	542.40'	N.171°25'	
7	50°34'21"	165.34'	308.93'	N.87°45'56"W	8	61°28'36"	400.00'	428.96'	N.82°19'48"W	9	23°45'29"	350.00'	80.03'	157.35'	N.156°02'		
10	40°32'22"	300.00'	212.28'	S.13°41'46"W	11	13°52'40"	200.00'	24.34'	S.501°3'55"W	12	45°56'35"	200.00'	84.78'	42.90'	N.156°11'		
13	12°20'29"	200.00'	33.77'	66.54'	14	19°08'16"	200.00'	27.87'	S.89°17'31"E	15	13°52'40"	200.00'	24.34'	42.90'	N.156°11'		
16	18°02'03"	104.86'	104.86'	104.86'	17	18°02'03"	104.86'	104.86'	104.86'	18	18°02'03"	104.86'	104.86'	104.86'	18°02'03"		
19	18°02'03"	104.86'	104.86'	104.86'	20	18°02'03"	104.86'	104.86'	104.86'	21	18°02'03"	104.86'	104.86'	104.86'	18°02'03"		
22	18°02'03"	104.86'	104.86'	104.86'	23	18°02'03"	104.86'	104.86'	104.86'	24	18°02'03"	104.86'	104.86'	104.86'	18°02'03"		
25	18°02'03"	104.86'	104.86'	104.86'	26	18°02'03"	104.86'	104.86'	104.86'	27	18°02'03"	104.86'	104.86'	104.86'	18°02'03"		
28	18°02'03"	104.86'	104.86'	104.86'	29	18°02'03"	104.86'	104.86'	104.86'	30	18°02'03"	104.86'	104.86'	104.86'	18°02'03"		
31	18°02'03"	104.86'	104.86'	104.86'	32	18°02'03"	104.86'	104.86'	104.86'	33	18°02'03"	104.86'	104.86'	104.86'	18°02'03"		
34	18°02'03"	104.86'	104.86'	104.86'	35	18°02'03"	104.86'	104.86'	104.86'	36	18°02'03"	104.86'	104.86'	104.86'	18°02'03"		
37	18°02'03"	104.86'	104.86'	104.86'	38	18°02'03"	104.86'	104.86'	104.86'	39	18°02'03"	104.86'	104.86'	104.86'	18°02'03"		
40	18°02'03"	104.86'	104.86'	104.86'	41	18°02'03"	104.86'	104.86'	104.86'	42	18°02'03"	104.86'	104.86'	104.86'	18°02'03"		
43	18°02'03"	104.86'	104.86'	104.86'	44	18°02'03"	104.86'	104.86'	104.86'	45	18°02'03"	104.86'	104.86'	104.86'	18°02'03"		
46	18°02'03"	104.86'	104.86'	104.86'	47	18°02'03"	104.86'	104.86'	104.86'	48	18°02'03"	104.86'	104.86'	104.86'	18°02'03"		
49	18°02'03"	104.86'	104.86'	104.86'	50	18°02'03"	104.86'	104.86'	104.86'	51	18°02'03"	104.86'	104.86'	104.86'	18°02'03"		

CONFORMED COPY  
OFFICIAL PUBLIC RECORDS  
John F. Harren County Clerk  
Dallas County TEXAS  
March 13, 2007 02:08:32 PM  
FEE: \$55.00

LEGEND  
OS OPEN SPACE OWNED AND MAINTAINED BY H.O.A.  
ALL OPEN SPACES ARE DRAINAGE & UTILITY EASEMENTS.  
DE DRAINAGE EASEMENT  
UE UTILITY EASEMENT FOR FRANCHISE UTILITIES

STONE CANYON EAST PHASE IV BUILDING SETBACK CHART

SETBACKS ARE AS FOLLOWS:  
FRONT 40', REAR 30', SIDE 12'; EXCEPT FOR THE FOLLOWING LOTS.

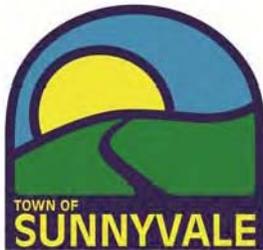
#138	75' FRONT SETBACK
#139	75' FRONT SETBACK
#140	30' FRONT SETBACK
#142	30' FRONT SETBACK
#152	30' FRONT SETBACK
#153	30' FRONT SETBACK
#156	35' SIDE SETBACK (STREET SIDE ONLY)
#157	35' FRONT SETBACK
#158	35' FRONT SETBACK
#162	30' FRONT SETBACK, 20' REAR
#163	30' FRONT SETBACK, 20' REAR
#164	30' FRONT SETBACK, 30' SIDE (STREET SIDE ONLY)
#170	20' REAR SETBACK
#171	20' REAR SETBACK, 30' SIDE (STREET SIDE ONLY)
#172	30' FRONT SETBACK, 30' SIDE (STREET SIDE ONLY)
#173	30' FRONT SETBACK
#174	20' REAR SETBACK
#175	20' REAR SETBACK, 30' SIDE (STREET SIDE ONLY)
#176	30' SIDE SETBACK (STREET SIDE ONLY)
#177	30' FRONT SETBACK, 25' REAR
#178	30' FRONT SETBACK
#179	30' FRONT SETBACK
#182	35' FRONT SETBACK
#183	35' FRONT SETBACK
#184	35' FRONT SETBACK, 20' REAR

FINAL PLAT  
**STONE CANYON EAST, PHASE IV**  
ZONING: SF-4  
PROPOSED USE: RESIDENTIAL  
LOCATED IN THE BENJAMIN CROWNOVER SURVEY, ABSTRACT NO. 344  
TOWN OF SUNNYVALE, DALLAS COUNTY, TEXAS

STONE CANYON EAST, L.P. OWNER  
190 S COLLINS RD SUITE 102 (972) 226-6600  
SUNNYVALE, TEXAS 75182

LANE'S SOUTHWEST SURVEYING, INC. SURVEYOR  
2717 MOTLEY DRIVE, SUITE B (972) 681-4442  
MESQUITE, TEXAS 75150

MARCH 2007



# Town of Sunnyvale

March 28, 2016

**Prepared By: Rashad Jackson, AICP**  
**Director of Development Services**

**Summary:**

**APPLICANT:** STONE CANYON EAST, L.P. (DAVID GOODHART)  
**AT OR ABOUT:** 1.411 ACRES AT STONE CANYON DRIVE AND BOULDER LANE  
**REQUEST:** SITE PLAN – STONE CANYON EAST AMENITY CENTER

**Background:**

The applicant has requested a site plan approval for the development of a Stone Canyon East Amenity Center (Clubhouse). The property is 1.411 acres in size and is zoned "SF-4 PRO" for the Stone Canyon East subdivision. The plat for the development shows an amenity center located within this open space area platted as part of Phase 4. The Stone Canyon Ordinance requires that "the amenity center in Stone Canyon East "shall be designed and constructed in a manner similar to those features found in Stone Canyon West, provided that the amenity center shall be for residents only, and not open to the public in general." The applicant has submitted an application that adheres to the intent of the ordinance. The proposed amenity center will be designed with similar features as the Stone Canyon West amenity center but the exterior will be enhanced with stone.

The ordinance also requires that the construction of the amenity center in Stone Canyon East "be completed prior to receiving Final Plat approval for Phase V." The applicant plans to construct the center prior to the final platting of the noted phase.

The site plan shows a 1,500 square foot amenity center building located at the intersection of Boulder Lane and Stone Canyon Drive. The building will be designed with a pool facility and rear patio. The building will be clad primarily with stone and wood accents. An eight (8) foot high wrought iron fence will completely surround the swimming pool. Due to a change in elevation on the east side of the property, a portion the fence will sit upon an existing retaining wall. Access will be provided by an existing concrete walk and twenty (20) space parking lot. The entire development will be landscaped in accordance with Town zoning ordinance standards.

Town staff has reviewed the proposal against the following documents: Zoning Ordinance 324, PRO Ordinance No. 413. Each of the various standards for development has been provided below.

**Ordinance Standards**

Ordinance No. 413 General Requirements

The general requirements for properties located within a residential district for a lot of this size, include:

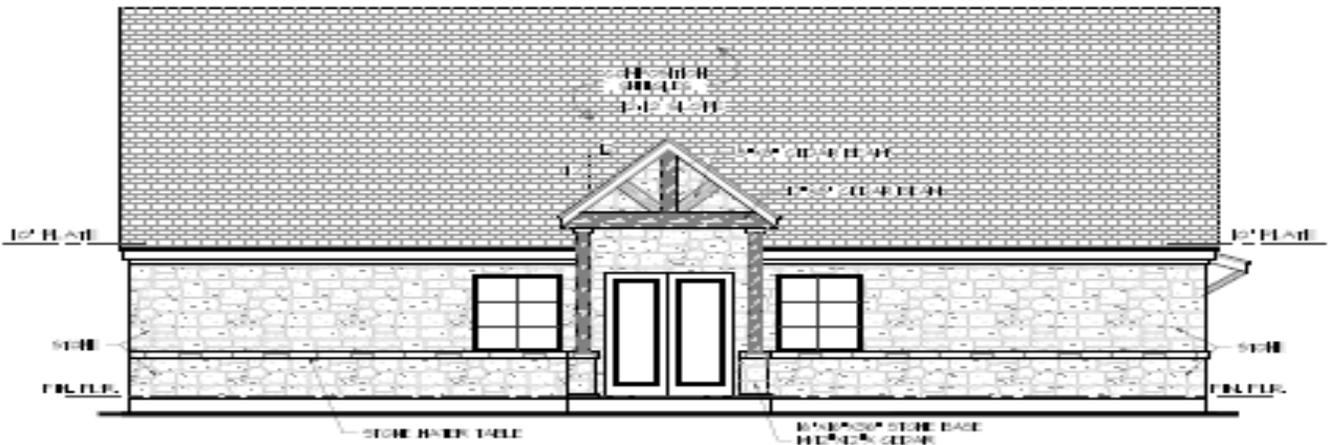
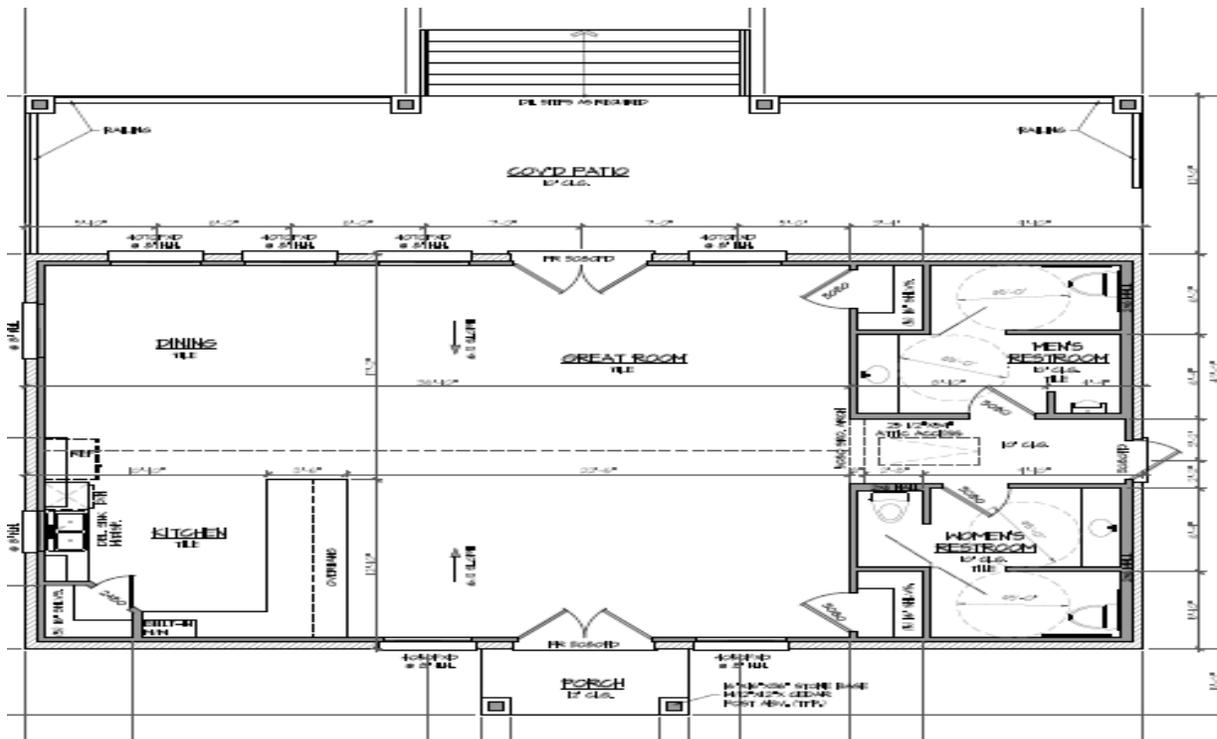
Front yard setback	40 feet
Side yard setback	30 feet
Rear yard setback	12 feet

Maximum height 2.5 stories  
Maximum lot coverage 35%

Upon review of the plans submitted, each of these requirements of the zoning ordinance would appear to have been met.

Building Elevations

The floor plan for the amenity center shows a men's and women's restroom facility as well as outdoor patio area. A kitchen and dining area has also been provided for within the facility. The remaining space would allow for an open community space. The building will be constructed with a stone façade and a shingle roof.



### Parking

As mentioned, a twenty (20) car parking area has been provided. Two (2) handicapped stalls have been provided for. The parking area will be connected to the amenity center and a n existing trail system with a new sidewalk.

### Landscaping Plan

In accordance with the zoning ordinance, landscaping (trees and other vegetation) have been provided around the parking area and around the outside of the building.

### Public Notice

Public notice was provided to the Town's Official Newspaper for publication on March 2<sup>nd</sup>, 2016. Letters were also sent to property owners' within 400' on March 10<sup>th</sup>, 2016. The total number of letters sent was thirty-two (32). As of the release of the staff memo, one (1) response in favor had been received.

### Planning & Zoning Commission Recommendation – 3/21/16

Chairman Demko called for a motion. Commissioner Sandler made a motion to approve the request as submitted. Commissioner Vanek seconded. Chairman Demko called for a vote, the motion passed unanimously.

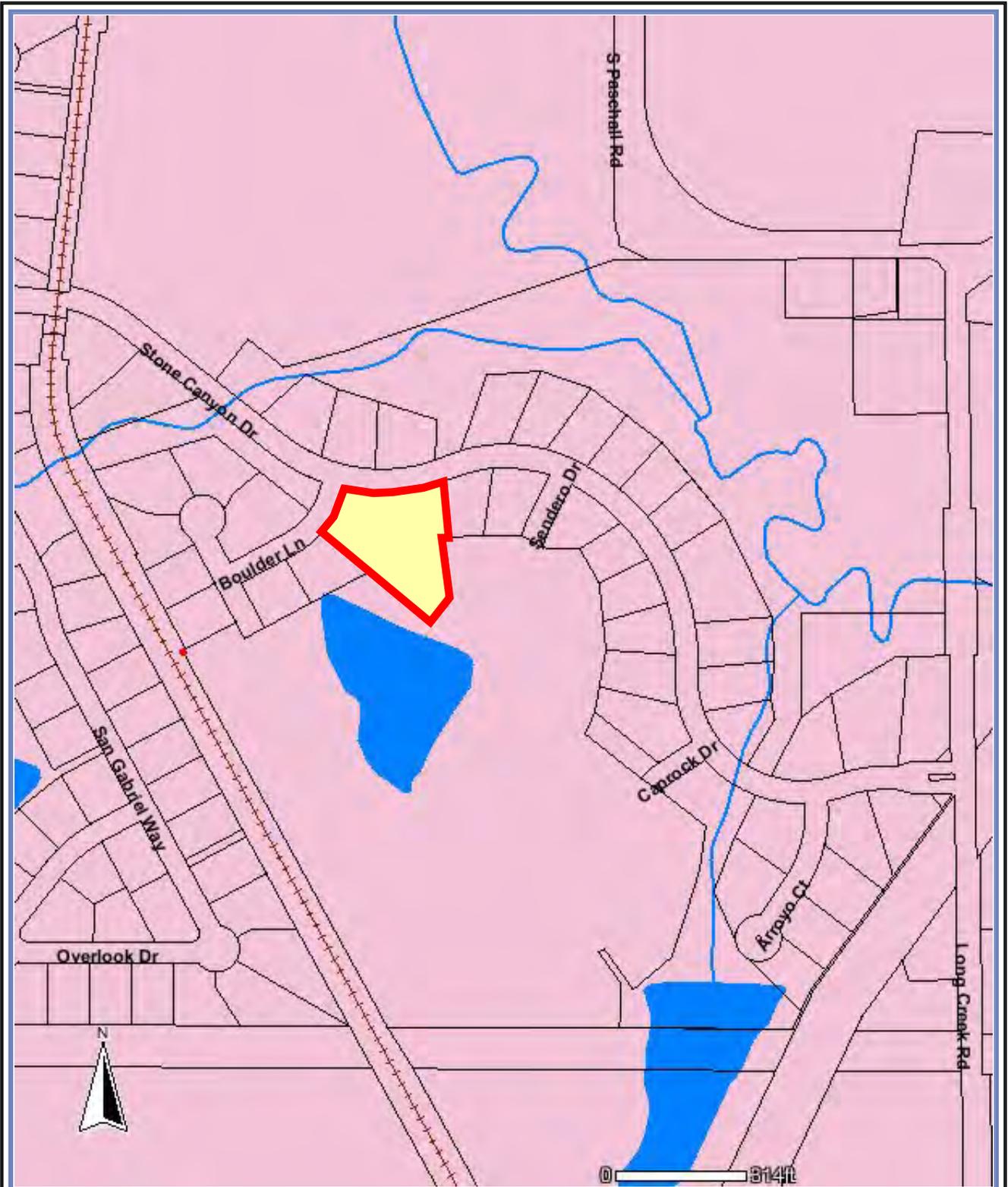
### Staff Recommendation

Town staff has reviewed the request; and has the following comments/conditions for consideration:

1. Staff recommends approval. All Town department comments must be satisfactorily addressed prior to construction on the subject property.

### Attachments

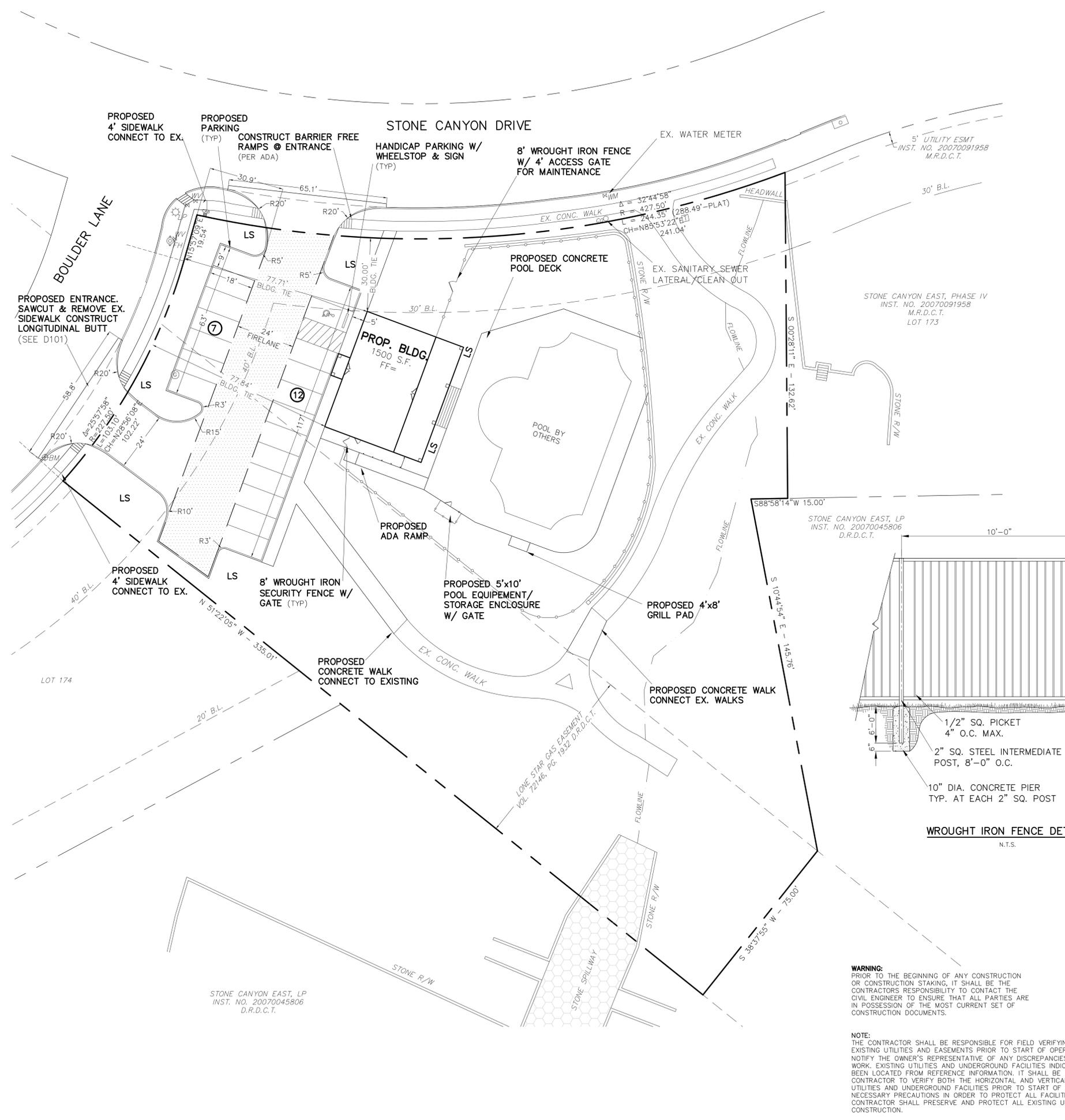
- Location Map
- Site Plan exhibits
- 400' notice response letter



Dallas Central  
Appraisal District  
www.dallascad.org

**DISCLAIMER**

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.



- PAVING NOTES:**
- 1) FIRELANE & APPROACHES TO BE 6" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
  - 2) ALL NON-FIRELANE PAVING CAN BE 6" THICK, 3000 psi, 6 SACK MIX, REINFORCED WITH #4 BARS @ 18" O.C.
  - 3) ALL FILL (IF REQUIRED) SHALL BE PLACED ON 8" LIFTS AND COMPACTED TO 95% OF STD. PROCTOR @ MOISTURE RANGE OF 0% TO +6% OF OPTIMUM MOISTURE. (UNLESS OTHERWISE NOTED) USING A SHEEPS-FOOT ROLLER.
  - 4) SIDEWALK TO BE 4" THICK CONCRETE, 3000 psi, 5.5 SACK MIX IN R.O.W.
  - 5) NO SAND UNDER PAVING.

- NOTES:**
- 1) ALL WORK MUST CONFORM TO CITY OF SUNNYVALE & NCTCOG STANDARDS AND DETAILS 3rd EDITION.
  - 2) ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF SUNNYVALE STANDARDS AND DETAILS
  - 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
  - 4) ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.

**SITE DATA:**

LOT AREA:  
1.411 Acres, 61,466 sq. ft.

LOT COVERAGE:  
3.5%

FLOOR TO AREA RATIO:  
28.6:1

BUILDING AREA:  
A/C = 1,500 sq.ft.  
U/R = 2,147 sq.ft.

BUILDING HEIGHT:  
1 Story

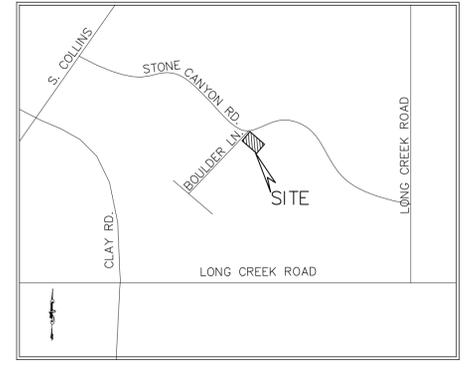
BUILDING SETBACKS:  
Front: 40'  
Side: 30'

PROPOSED USE:  
Clubhouse

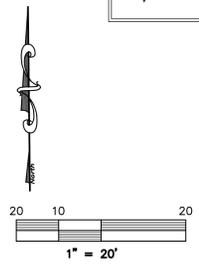
ZONING:  
SF-4 PRO

PARKING:  
Standard = 18  
Handicapped = 1  
Total Provided = 19

\* THERE ARE NO BUILDINGS ON THIS SITE

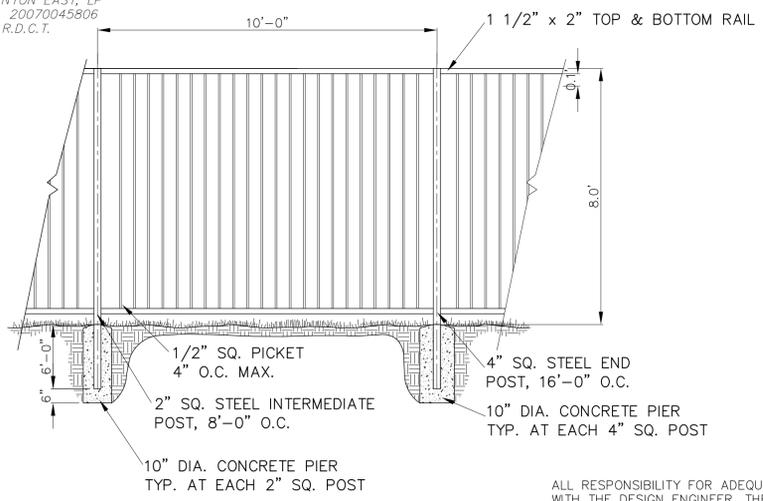


VICINITY MAP  
NOT TO SCALE



**LEGEND**

- = PROPERTY LINE
- SS --- = EXISTING SANITARY SEWER LINE
- W --- = EXISTING WATER LINE
- ⊕ FH = EXISTING FIRE HYDRANT
- WM = EXISTING WATER METER
- ⊕ PP = EXISTING POWER POLE
- ⊕ LP = EXISTING LIGHT POLE
- ⊕ = EXISTING GAS MARKER
- ⊕ = EX. TELEPHONE BOX
- ⊕ = EXISTING SS MANHOLE
- EXIST. or EX. = EXISTING
- ⊕ = CENTERLINE
- PROP. = PROPOSED
- LS = LANDSCAPE
- RCP = REINFORCED CONCRETE PIPE
- min = MINIMUM
- max = MAXIMUM
- ⊕ = PROP LIGHT POLE
- ⊕ = WROUGHT IRON
- [Pattern] = FIRELANE



**WROUGHT IRON FENCE DETAIL**  
N.T.S.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF SUNNYVALE, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OF DESIGN.

- GENERAL NOTES**
1. Buildings 5,000 square feet or greater shall be sprinkled. Alternative fire protective measures may be approved by the Building Inspector and Fire Department.
  2. Fire lanes shall be designed and constructed per city standards.
  3. Handicapped parking areas shall be designed and provided per city standards and shall comply with requirements of the current adopted Uniform Building Code.
  4. Mechanical units, dumpster and trash compactors shall be screened in accordance with the Zoning Ordinance.
  5. All signage contingent upon Building Inspection Department.
  6. Approval of the site plan is not final until all engineering plans are approved.
  7. Open storage, where permitted, shall be screened in accordance with the Zoning Ordinance.
  8. Please contact the Building Inspection Department to determine the type of construction and occupancy group.
  9. All electrical transmission, distribution and service lines must be underground.

**WARNING:**  
PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

**NOTE:**  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF SUNNYVALE TO BE USED FOR CONSTRUCTION.



**SITE PLAN**

**STONE CANYON EAST CLUBHOUSE**

Lot 194, 1.411 Acres  
Stone Canyon East, Phase IV  
City of Sunnyvale, Dallas County, Texas

owner/developer  
**STONE CANYON EAST, L.P.**  
190 S. COLLINS RD., SUITE 102  
Sunnyvale, TX 75182  
(972) 226-6600

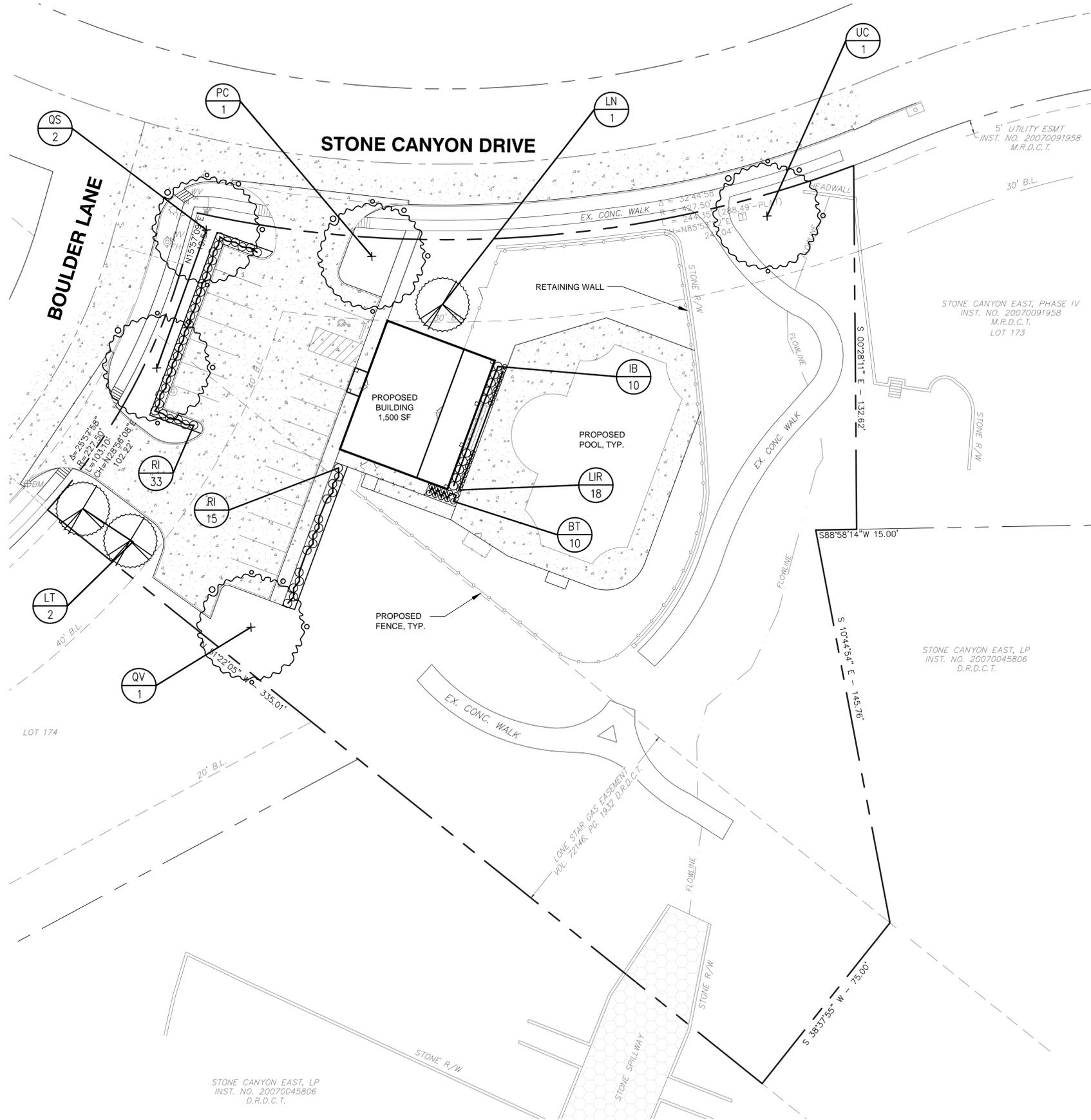
prepared by  
**MONK CONSULTING ENGINEERS**  
1200 W. State Street, Garland Texas 75040  
972 272-1763 Fax 972 272-8761

PROJECT NO.: 2015-17 REG. NO.: F-2567

date: 3/8/16 scale: 1"=20' sheet: C101

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PLANT LIST						
SYM.	QTY.	SCIENTIFIC NAME	COMMON NAME	CONTAINER	CALIPER	REMARKS
PC	1	<i>Pistacia chinensis</i>	Chinese Pistache	B&B	3"	8'-10' Ht., 6" Sp. MIN.
QS	2	<i>Quercus shumardii</i>	Shumard Red Oak	B&B	3"	10'-12' Ht., 8" Sp. MIN.
QV	1	<i>Quercus virginiana</i>	Live Oak	B&B	3"	8'-10' Ht., 6" Sp. MIN.
UC	1	<i>Ulmus crassifolia</i>	Cedar Elm	B&B	3"	8'-10' Ht., 6" Sp. MIN.
LN	1	<i>Lagerstroemia indica 'Natchez'</i>	Natchez Crape Myrtle	30 GAL.		3 - 1.5" Canes, Min. 9' Ht.
LT	2	<i>Lagerstroemia indica 'Tuskegee'</i>	Tuskegee Crape Myrtle	30 GAL.		3 - 1.5" Canes, Min. 9' Ht.
IB	10	<i>Ilex cornuta 'Burford Hens'</i>	Dwarf Burford Holly	5 gal.		36" O.C.
BT	10	<i>Berberis thunbergii 'stropurpurea'</i>	Dwarf Pygmy Barberry	3 gal.		16" O.C.
LIR	18	<i>Liriope muscari</i>	Liriope			
RI	48	<i>Rhapitopsis indica 'Jack Evans'</i>	Jack Evans Indian Hawthorn	5 gal.		36" O.C.

**General Landscape & Tree Protection Notes:**

- The American Standard for Nursery Stock (ANSI Z60.1-2004) Specifications shall govern plant qualifications, Grades and Standards.
- Proposed plants shall comply with the landscape plans approved by the Town of Sunnyvale. Plant substitutions are permitted at the discretion of the Landscape Architect or his/her appointee.
- Ground covers must provide complete coverage within two (2) years of planting.
- Tree pits shall have roughened sides and be two to three times wider than the root ball of the tree in order to facilitate healthy root growth.
- Tree pits shall be tested for water percolation. Water shall drain out of tree pit within a 24-hour period.
- Trees shall not be planted deeper than the base of the "trunk flare".
- Burlap, twine and wire baskets shall be loosened and pulled back from the trunk of the tree.
- The tree pit shall be backfilled with native topsoil free of rock and other debris.
- Trees shall not be watered to excess that result in soil saturation. In the event the soil becomes saturated, the watering schedule shall be adjusted.
- A 3"-4" layer of mulch shall be provided around the base of the planted tree. The mulch shall be pulled back 3" from the tree trunk.
- Topsoil shall be a minimum of eight inches (8") in depth in planting areas. Soil shall be free of stones, roots, and clods and any other foreign material that is not beneficial for plant growth.
- All plant beds shall be top-dressed with a minimum of three inches (3") of hardwood or other mulch.
- Trees overhanging walks and parking shall have a minimum clear trunk height of seven feet (7'). Trees overhanging public street pavement drive aisles and fire lanes shall have a minimum clear trunk height of fourteen (14) feet.
- No plant material shall be allowed to encroach on right-of-way, sidewalks or easements to the extent that vision or route of travel for vehicular, pedestrian, or bicycle traffic is impeded.
- When trees are planted on a slope care shall be taken to integrate the tree elevation with the existing slope, while insuring the tree is planted at the proper elevation.
- The owner, tenant, and/or their agents shall be responsible for the maintenance, establishment, and permanence of plant material. All landscaping shall be maintained in accordance with design intent. This shall include, but not limited to mowing, edging, pruning, fertilizing, watering, and other activities necessary for the maintenance of landscaped areas.
- All plant material shall be maintained in a healthy and growing condition as is appropriate for the season of the year. Plant material that is damaged, destroyed, or removed shall be replaced with plant material of similar size and variety within 30 days.
- Landscape and open areas shall be free of trash, litter and weeds.
- No planting areas shall exceed 3:1 slope ((3') three feet horizontal to (1') one foot vertical).
- Earthen berms shall not include construction debris. Contractor shall correct erosion or damage to the smooth finish grade of the berm prior to acceptance.
- Landscape installation must comply with approved landscape plans prior to final acceptance by the City and/or obtaining a Certificate of Occupancy.
- Final inspection and approval of landscape installation shall be done in the presence of the Landscape Architect and Owner's Representative.



LANDSCAPE ARCHITECTURE  
2701 W. 15th ST. 333  
Plano, Texas 75075  
Ph: 214.733.8805  
Fx: 214.733.8806  
dshipp@lanarcdesign.com



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY DAVID B. SHIPP, R.L.A. #2121 ON FEB. 19, 2016.

**STONE CANYON CLUBHOUSE**

Lot 194 - 1.411 Acres  
Stone Canyon East, Phase IV

PROJECT: LOCATION:

REVISIONS:

Number	Date
1	2.19.2016
2	
3	
4	
5	
6	

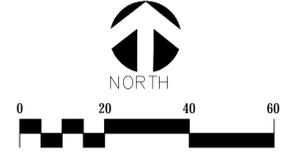
DATE: FEB. 19, 2016

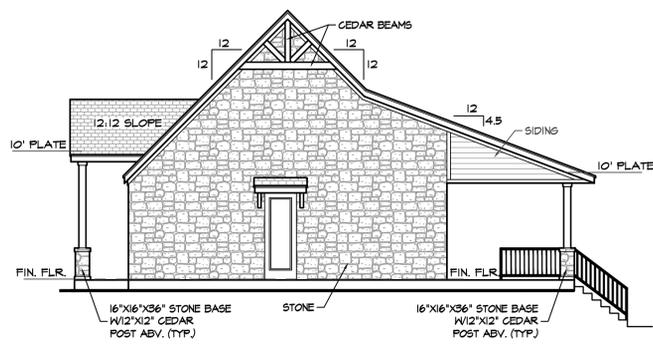
TITLE: LANDSCAPE PLAN

SHEET:

**LA-1LP**

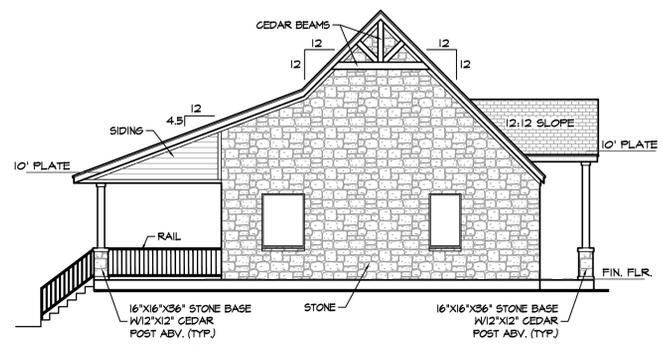
**A** PLAN: Landscape Layout  
SCALE: 1" = 20'-0"





### RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



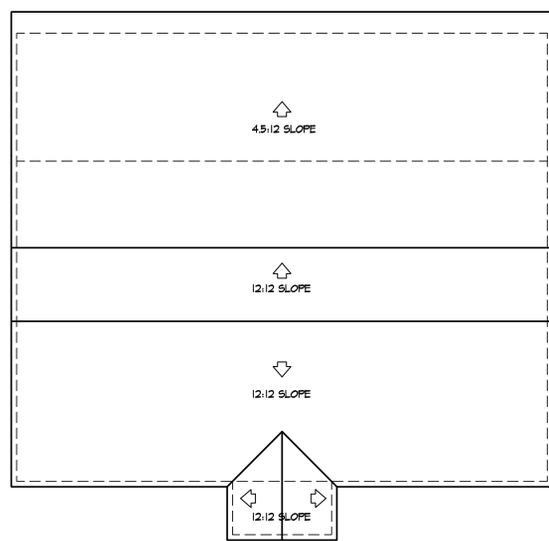
### LEFT ELEVATION

SCALE: 1/8" = 1'-0"



### REAR ELEVATION

SCALE: 1/8" = 1'-0"



### ROOF PLAN

SCALE: 1/8" = 1'-0"



### FRONT ELEVATION

SCALE: 1/4" = 1'-0"

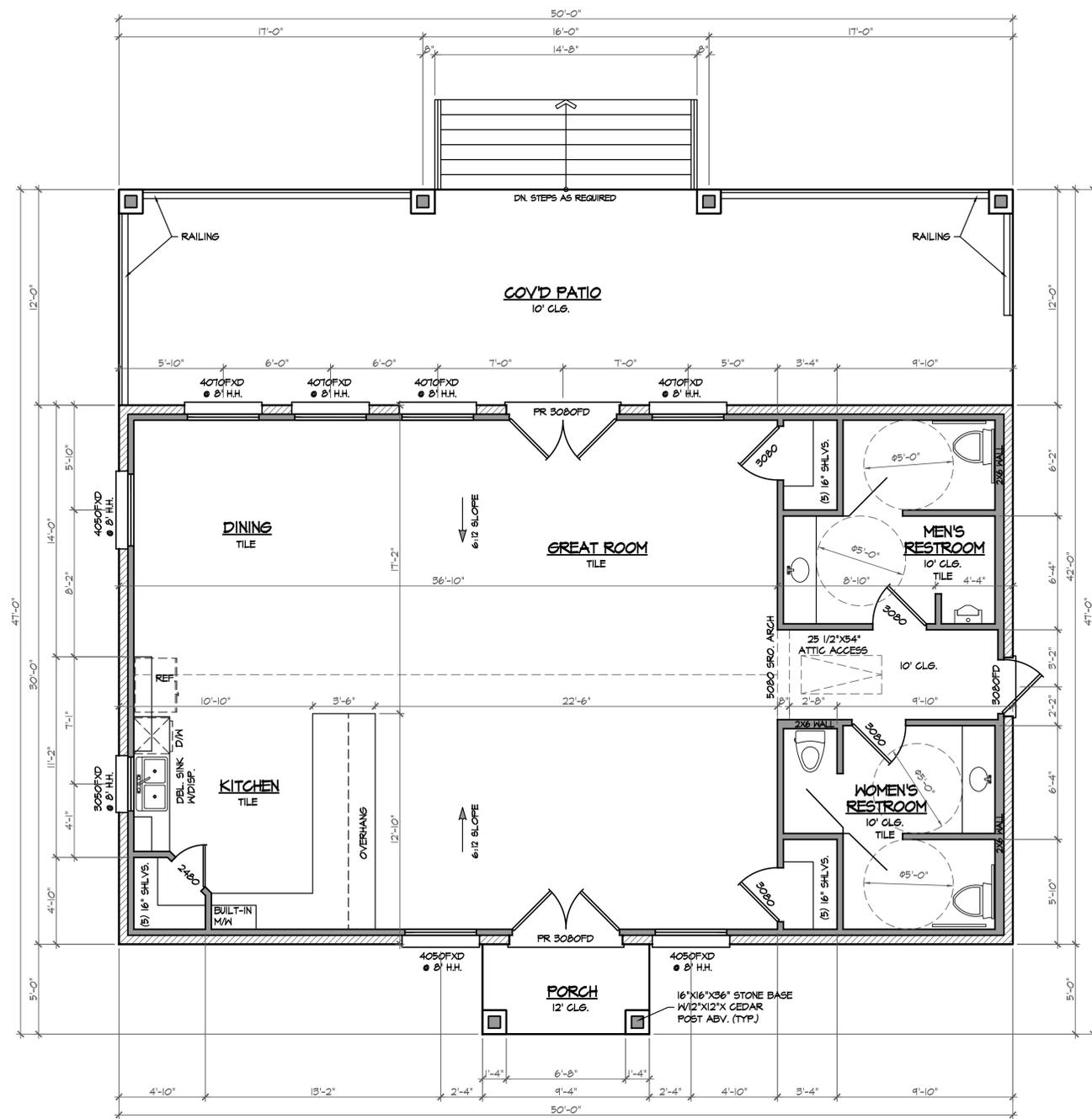
NOTE: 1) ROOF TO BE EITHER COMPOSITION SHINGLES OR STANDING SEAM METAL.  
 2) STONE TO BE CHOPPED LUEDERS LIME STONE.

The general contractor shall examine and verify the accuracy of all dimensions and conditions of these documents, and shall notify Moore Residential Designs of any discrepancies and/or omissions prior to the start of construction. Moore Residential Designs will be responsible only for the revision/correction of these documents. These documents are intended for general residential construction purpose only and are not exhaustively detailed or fully specified. The general contractor (or his representative) shall be on-site to supervise construction, and it shall be his responsibility to select, verify, reserve, and install all equipment and materials, and to control the quality thereof. The contractor shall not alter, modify, or exceed the current edition of the International Building Code and all applicable state and local codes. Moore Residential Designs shall be held responsible for any discrepancy within these documents pertaining to said codes. It is the responsibility of the general contractor to provide any engineering necessary to the stability of the structure(s) of this project. Moore Residential Designs does not indicate nor imply any exact structural member(s) herein, and furthermore, recommends that these documents be reviewed by a qualified registered professional engineer.

STONE CANYON EAST CLUBHOUSE  
 LOT 194, PHASE 4  
 SUNNYVALE, TX.



DRAWN BY:	
SRC	REV.
DATE:	
11/30/15	
DRAWING NO:	1500
DRAWING ID:	
H2B	
ELEVATIONS	



### FLOOR PLAN

SCALE: 1/4" = 1'-0"

AREA CALCULATIONS	
FLOOR A/C =	1500 S.F.
TOTAL A/C =	1500 S.F.
PATIO =	600 S.F.
PORCH =	47 S.F.
TOTAL U/R S.F. =	2,147 S.F.

The general contractor shall examine and verify the accuracy of all dimensions and conditions of these documents, and shall notify Moore Residential Designs of any discrepancies and/or omissions prior to the start of construction. Moore Residential Designs will be responsible only for the revision/correction of these documents. These documents are intended for general residential construction purpose only and are not exhaustively detailed or fully specified. The general contractor (or his representative) shall be on-site to supervise construction, and it shall be his responsibility to select, verify, review, and install all equipment and materials, and to control the quality thereof. It is the responsibility of the general contractor to provide any engineering necessary to the stability of the structure(s) of this project. Moore Residential Designs does not indicate nor imply any exact structural member(s) herein, and furthermore recommends that these documents be reviewed by a qualified engineering professional engineer.

**STONE CANYON EAST CLUBHOUSE**  
**LOT 194, PHASE 4**  
**SUNNYVALE, TX.**



DRAWN BY:	
SRC	REV.
DATE:	
11/30/15	
DRAWING NO:	1500
DRAWING ID:	
H2B	
FLOOR PLAN	
SCALE: 1/4" = 1'-0"	



**Notice of Application for Site plan  
Town of Sunnyvale  
Planning & Zoning Commission**

The Town of Sunnyvale has received a request from Stone Canyon East, L.P. (David Goodhart) for a site plan approval of Stone Canyon East, Amenity Center. The request will allow for the development of a community club house within Stone Canyon East. The location of the property is shown on the attached exhibit.

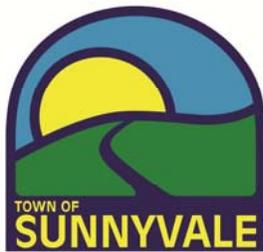
The Planning and Zoning Commission will hear this application on Monday, March 21, 2016 and the Town Council will consider the application on either Monday, March 28, 2016 or Monday, April 11, 2016. The hearings will be conducted in open session at Town Hall, 127 Collins Road at 7:00 P.M. If you have comments on this application, you may present them in person at these meetings or may submit written comments at any time on or before date of the hearings.

The site plan application and supporting documents are on file at Town Hall and may be examined at no charge. For further information contact Rashad Jackson, Director of Development Services at (972) 203-4103 or [rashad.jackson@townofsunnyvale.org](mailto:rashad.jackson@townofsunnyvale.org) .

- I am in favor of the site plan
- I am opposed to the site plan

Explanation: \_\_\_\_\_  
\_\_\_\_\_

Signature: \_\_\_\_\_  
 Printed Name: King Moss II  
 Address: 453 Stone Canyon Dr.  
 Date: 3/15/16



# Town of Sunnyvale

MARCH 28, 2016

Prepared By: Rashad Jackson, AICP  
Director of Development Services

## Summary:

**APPLICANT:** JOSE CANTU  
**AT OR ABOUT:** 3.7 ACRES NEAR SE QUADRANT OF THE INTERSECTION OF  
**S. COLLINS RD (SH 352) AND CLAY RD**  
**REQUEST:** SITE PLAN – US RENAL CARE SUNNYVALE

## Background:

The subject property is located at or about 220 South Collins Road. The applicant requests approval of a proposed site plan for the development of a US Renal Care facility. US Renal Care provides dialysis medical services and outpatient care. The subject property, located within a General Business zoning district, is 3.7 acres in size. The proposed use is allowed by right within the General Business zoning district.

*South Collins Road & Clay Road Overlay District:* The proposed building lies within the South Collins Road and Clay Road Design Overlay District. The primary objectives of the overlay districts are to create and reflect a high level of architectural design appeal throughout the Town. The applicant proposes to construct a 7,500 sq.ft. building on the subject property. The building is subject to regulations noted in the corresponding design overlay district criteria for site design details. The building is also subject to general business zoning district regulations for the proposed non residential use.

Plans show a one-story masonry building with an articulated facade and one main entry. The main entry will face Clay Road and will be covered by a drive thru canopy for patient drop off. Details of the design are as follows:

- Building height: Single story with parapet style roof
- Access: The main entry will face Clay Road. The service entrance and trash pickup will be in the rear on the north side of the development. Secondary access will also be provided for along South Collins.
- Building exterior / façade: The proposed building exterior will be clad primarily in stone. Brick and precast concrete at the top of the building as accents to create visual appeal on all facades. Metal awnings/canopies will be located above each window and doorway.
- Building articulation: The design guidelines require building elevations that face the right of way to have articulation. The South Collins Overlay requires the facades be offset, varied and articulated at least five feet (5') in depth for every fifty feet (50') in horizontal surface length. The guidelines state, "All buildings shall be architecturally finished on all four sides with a higher level of articulation on the front facades. Front facades shall be those facades directly visible from South Collins and the facade used as the primary entrance. **In the event that the side of the building is facing South Collins, the side facade articulation shall be similar to the front.**" The applicant has attempted to address this articulation requirement for the S. Collins elevation by articulating the materials vertically along the façade rather than articulating the actual plane of the

façade itself. Staff believes this was likely done to accommodate the interior floor plan for the facility. It will be left up to the Commission and Council to determine if this adjustment meets the criteria for articulation.

- Sidewalks: Per development requirements, a sidewalk should be located along the Clay Road right of way. No sidewalk is shown on the submitted plans. Paving plans show interior sidewalks throughout the development to accommodate pedestrian activity to and from the building.
- Off-street parking: Required parking shall be 1 space per 200 sq.ft. (37 spaces). The applicant has submitted plans meeting this requirement. The parking will accommodate the proposed use.
- Lighting: The preliminary lighting plan shows seven (7) twenty-five (25) foot tall bronze LED light fixtures will be used on the site. All lighting will be located on the subject property and not in the public right of way. Town lighting standards require that all outside lights shall be made up of a light source and reflector so when acting together, the light beam is controlled and not directed across any bounding property line above a height of three (3) feet. The allowable maximum intensity measured at the property line shall be 0.2 foot candles. A photometric plan shows that the proposed light fixture will adhere to the Town lighting standard.
- Parking lot plantings/Perimeter parking lot plantings: Design guidelines require parking areas to be screened. All parking lot screening will be maintained at least thirty six inches (36") in height. Berming, planting screens or low profile walls are allowed per design criteria standards. The applicant has used plant screens and shrubbery.
- Landscape Buffer and Land Use Screening: Proposed details shown meet the standards set forth in the zoning and overlay districts. Shrubs will screen the parking spaces and additional trees will be added throughout the site.

In accordance with zoning requirements, landscaping and a masonry wall should screen the building from the abutting residential subdivision. The Town zoning ordinance stipulates the following for land use buffers and screening.

- *Residential buffer for non-residential uses:*  
One large tree shall be planted on 40-foot centers or one small tree planted on 30-foot centers. The developer of any commercial property adjacent to any residentially zoned property shall provide a ten (10) foot wide buffer between the residential property and the building or parking areas.
- *Industrial and Commercial Screening:*  
Where a proposed industrial or commercial use abuts land planned or zoned for residential use, a solid masonry screening wall not less than eight (8) feet in height in I and HC districts and not less than six (6') feet in height **for all other nonresidential** districts shall be erected and maintained along or within one (1) foot of the property line that divides the two districts.
- *Masonry Walls:*  
Masonry walls shall be of the height specified and be constructed from natural stone, cast stone, face brick or pierced brick. Precast or prefabricated panels or cast-in-place concrete shall not be used. All masonry walls and foundations shall be designed by a registered professional engineer and construction plans for the wall shall bear the seal of the design engineer. Match existing masonry screening wall.

The applicant submitted plans that do not show a screening wall between the proposed building and the abutting residential district. Staff has suggested that the applicant continue the existing

screening wall situated north of the subject property at Stone Canyon Road. Continuing the existing screening wall would meet the screening requirement and maintain design consistency for the retail area. The applicant has included the required landscape buffer.

### **Public Notice**

Notice was published within the Town's Official Newspaper on March 2<sup>nd</sup>. Letters were also provided to surrounding properties meeting the distance requirements as provided within the Ordinance. Twenty-Nine (29) letters were sent. As of the writing of this staff memo, 4 letters had been returned in favor and 1 letter in opposition of the request.

### **Planning & Zoning Commission Recommendation – 3/21/16**

Chairman Demko called for a motion. Commissioner Moss made a motion to approve the request subject to staff comments. Commissioner Daniel seconded. Chairman Demko called for a vote, the motion passed unanimously.

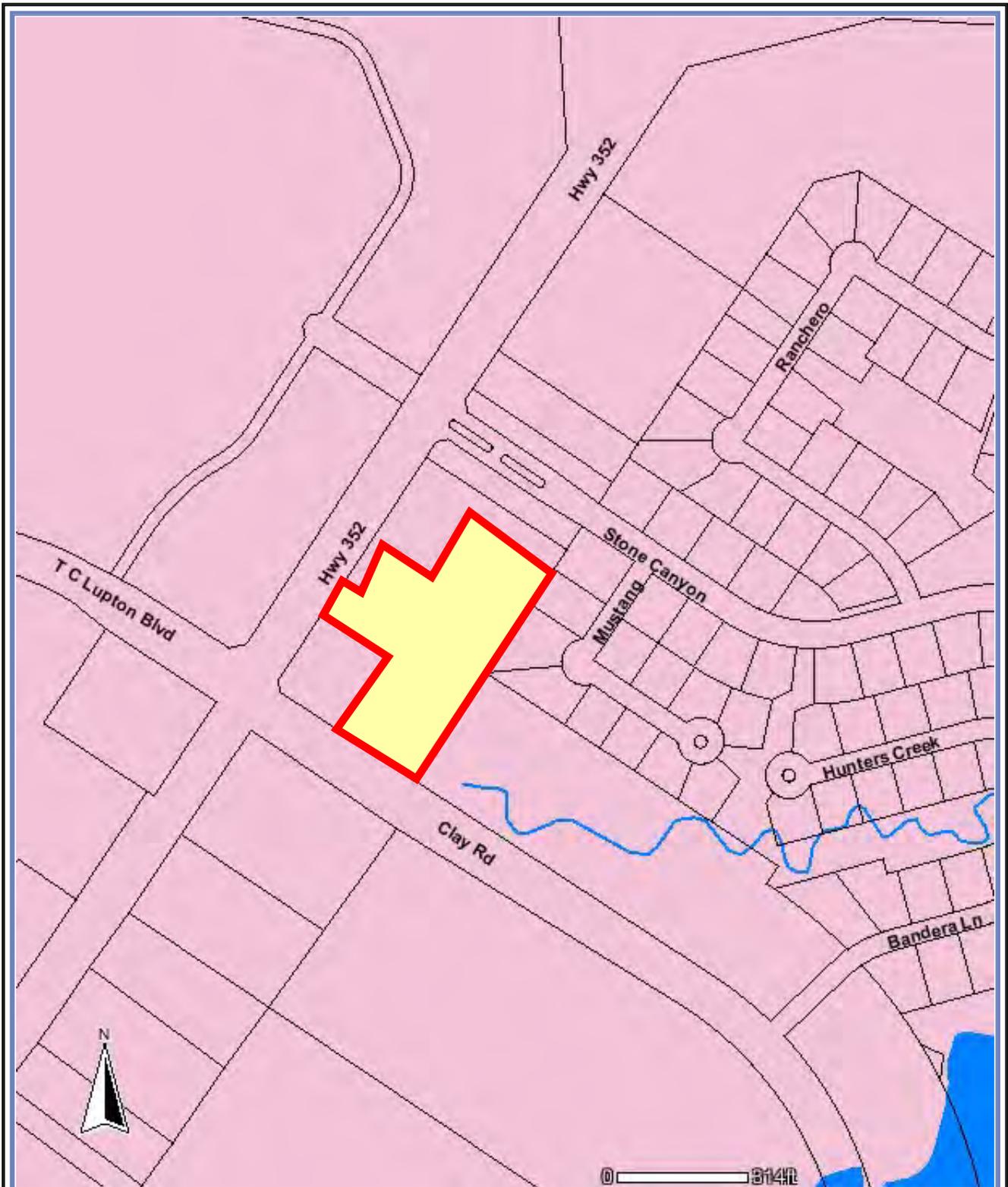
### **Staff Recommendation**

Town staff has the following comments/recommendation for consideration:

1. Town staff recommends approval contingent to all Town comments being satisfactorily addressed prior to construction.
2. Include a screening wall along the eastern portion of the subject property. The wall should be consistent (materials & height) with the existing wall to the north. *At the Planning & Zoning meeting held on March 21<sup>st</sup>, 2016, the applicant stated that they will provide the noted screening wall. Plans will be revised to include the screening wall.*
3. Include required sidewalk along Clay Road right of way.

### **Attachments**

- Location Map
- Proposed Site Plan Exhibit



**Dallas Central  
Appraisal District**  
www.dallascad.org

**DISCLAIMER**

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

# SUNNYVALE DIALYSIS PROPOSAL

## MATERIALS PALLET

- |   |   |
|---|---|
| <p><b>A</b> FIELD BRICK BY TRIANGLE BRICK PARKWAY COLLECTION - OLD SOUTH<br/>MORTAR COLOR - CEMEX LIGHT SAND</p> <p><b>B</b> ACCENT BRICK BY TRIANGLE DOWNTOWN COLLECTION - BOSTONIAN IRONSPOT<br/>MORTAR COLOR - CEMEX LIGHT SAND</p> <p><b>C</b> PRECAST CAP BY SUN PRECAST CO., INC.<br/>CHARCOAL ANTIQUED - 703<br/>MORTAR COLOR - CEMEX EXTRA DARK</p> | <p><b>D</b> STONE BY TEXAS STONE PRODUCTS<br/>SAWN STONE - WHITE<br/>MORTAR COLOR - CEMEX CREAM</p> <p><b>E</b> FASCIA AND SOFFIT PANELS BY PAC-CLAD<br/>FLUSH SOFFIT PANELS 12" WIDE<br/>STONE WHITE</p> |
|---|---|



FRONT ELEVATION



SIDE ELEVATION

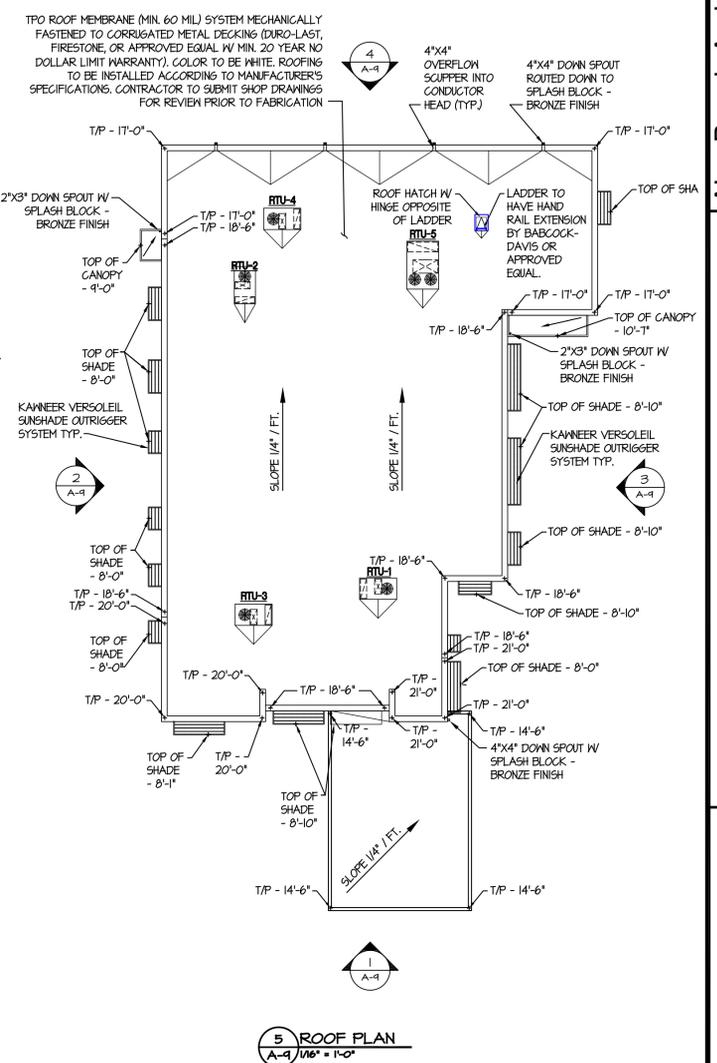
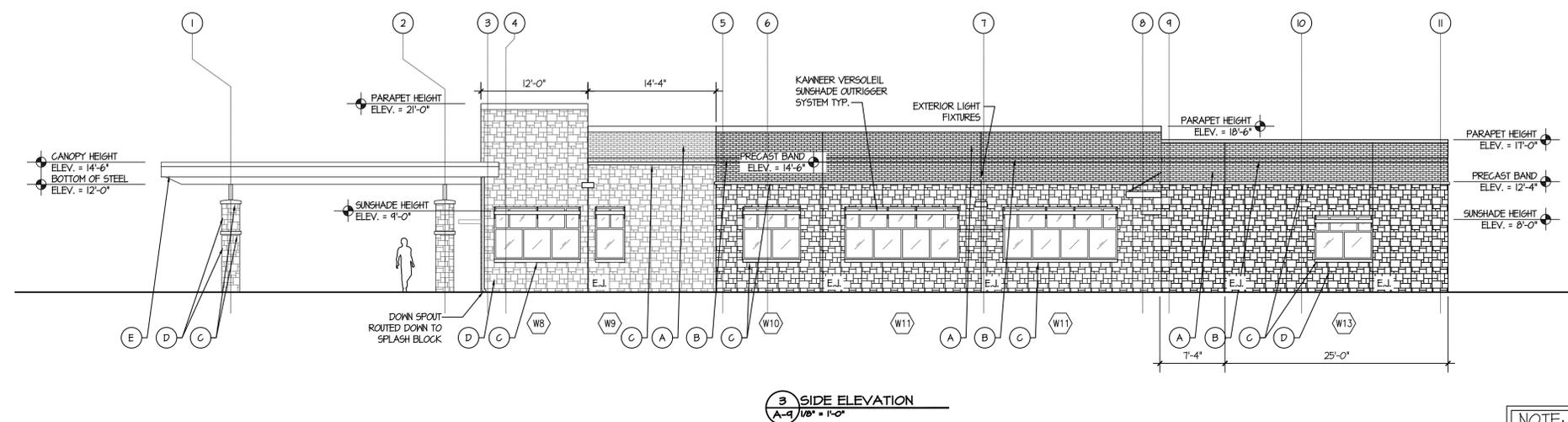
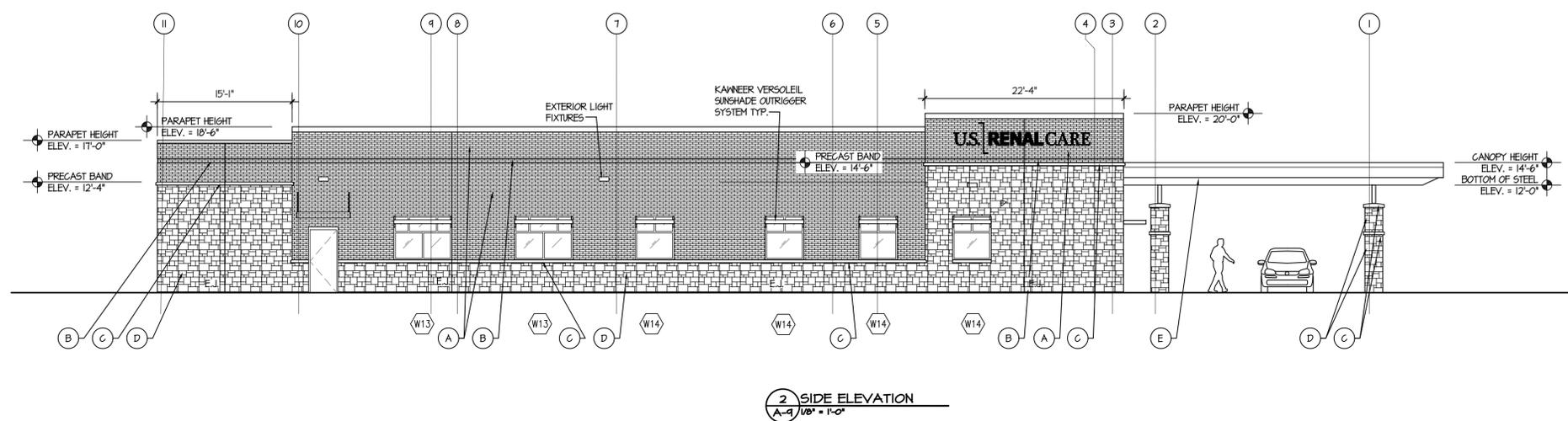
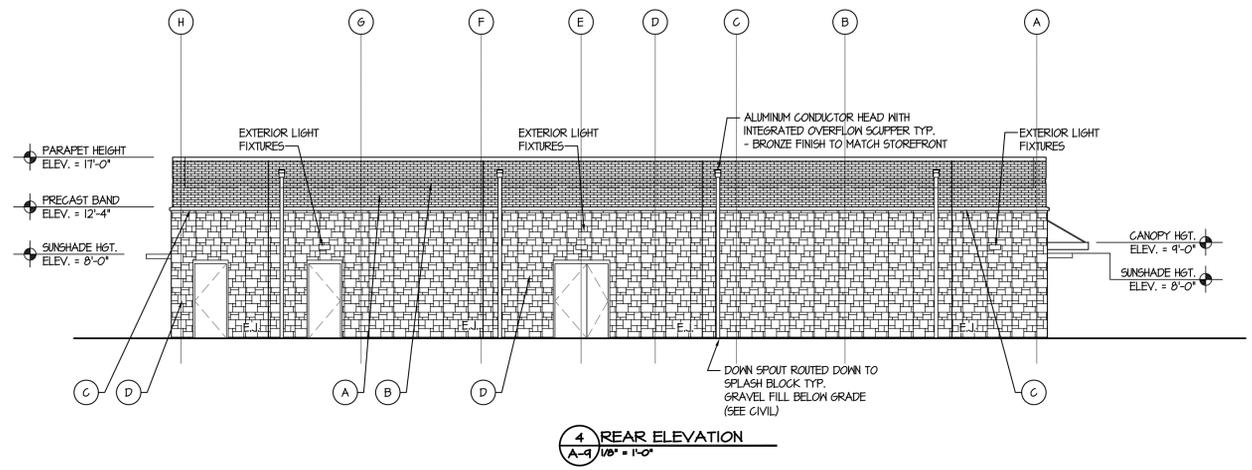
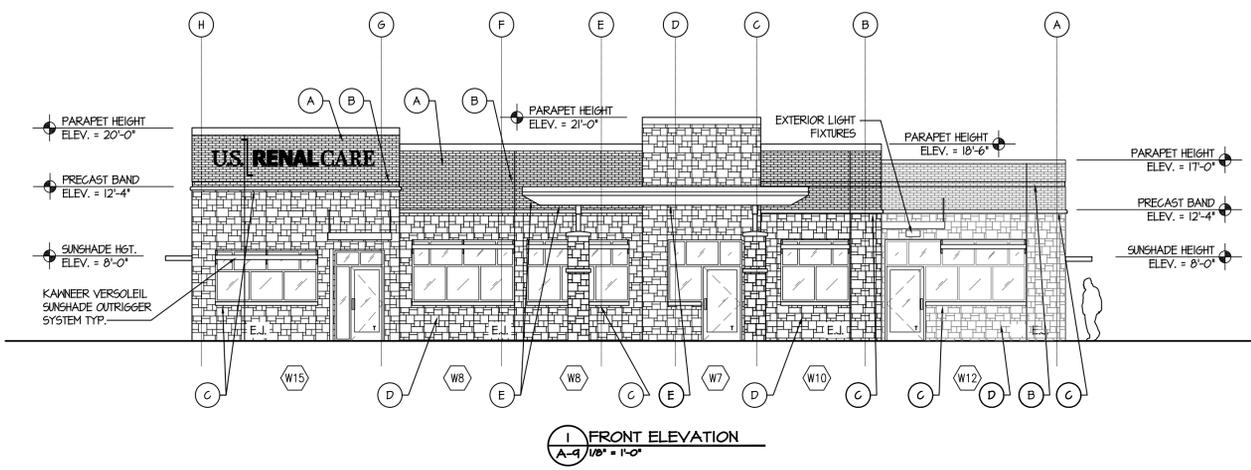


SIDE ELEVATION



REAR ELEVATION





- NOTE:**
- (A) - FIELD BRICK BY TRIANGLE BRICK - PARKWAY COLLECTION - OLD SOUTH MORTAR COLOR - CEMEX LIGHT SAND
  - (B) - ACCENT BRICK BY TRIANGLE BRICK - DOWNTOWN COLLECTION - CHESTNUT MORTAR COLOR - CEMEX EXTRA DARK
  - (C) - PRECAST CAP BY SUN PRECAST CO., INC. - CHARCOAL ANTIQUED - T03 MORTAR COLOR - CEMEX EXTRA DARK
  - (D) - STONE BY COOPER STONE - DIMENSIONAL ASHLAR - CORDOVA CREAM MORTAR COLOR - CEMEX CREAM
  - (E) - FASCIA AND SOFFIT PANELS BY PAC-GLAD - FLUSH SOFFIT PANELS 12" WIDE - STONE WHITE BRAKE METAL FASCIA - STONE WHITE

**EXPANSION JOINT COLORS:**

1	JOINTS AT STONE - OFF-WHITE
2	JOINT AT FIELD BRICK - STONE
3	JOINT AT ACCENT BRICK AND PRECAST CAP - SPECIAL BRONZE

BASF - SONOLASTIC NP-1 & NP-2

**IMPORTANT**  
Contractor is to verify all dimensions and conditions before executing any work.

The notes on attached sheets are valid on this drawing. These notes are hereby incorporated into this drawing. The user shall be responsible for the accuracy of the dimensions of the original drawing.

This drawing is the property of ALEX ROUSH ARCHITECTS, INC. and is not to be copied, reproduced, or used in any way without the written consent of Alex Roush Architects, Inc. It is to be used only on the project for which it was prepared and returned upon request.

**Alex Roush Architects, Inc.**  
2255 CUMBERLAND PARKWAY  
BUILDING 100  
ATLANTA, GEORGIA 30339  
(770) 333-7878  
FAX 333-7902

**SUNNYVALE DIALYSIS**  
**U.S. RENAL CARE**  
CLAY ROAD  
SUNNYVALE, TX 75182

DRAWN BY: JRC  
DATE: 02/29/2016  
PROJECT NO. 1605  
REVISIONS  
REV.  
REV.  
REV.  
Sheet No. **A-9**

1605 3/10/2016 6:45 PM ROUSH10

This document is intended for interim review purposes only and is not to be used for bidding, permitting, or construction.

OWNER  
**US Renal Care, Inc**  
**Mr. Jack Harrington**

2905 Longview Dr.  
 Jonesboro, AR 72401

PROJECT  
**USRC Sunnyvale**

South Collins Rd (Hwy 352)  
 at Clay Rd.  
 Sunnyvale Texas 75182

REVISIONS

PROJECT NUMBER  
**2016-049**

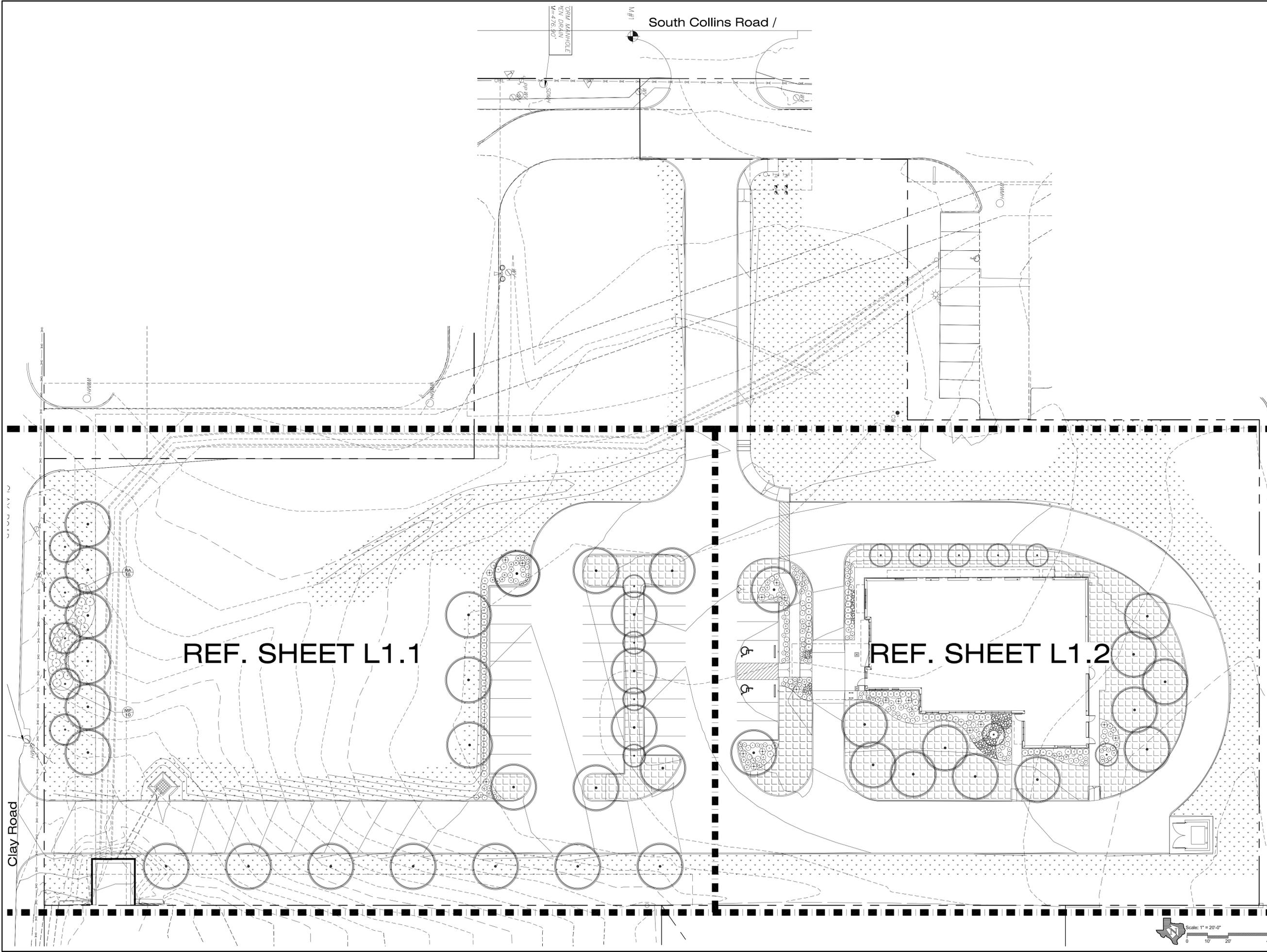
Drawn By: dr  
 Checked By: jr

Sheet Title:  
**OVERALL  
 LANDSCAPE  
 PLANTING PLAN**

Sheet Number:

**L1.0**

Issue Date:  
**March 11, 2016**



PLANT SCHEDULE						SIZE = CALIPER OR SPREAD
SYM.	SCIENTIFIC NAME	COMMON NAME	HGT.	SIZE	CONDITION	REMARKS
<b>TREES</b>						
CC	<i>Cercis canadensis</i> var <i>taxana</i>	TEXAS REDBUD	MIN. 7'	2" CAL.		DECIDUOUS / SINGLE STEM LOW-BREAKER
ID	<i>Ilex decidua</i>	POSSUM HAW	-	3" CAL.	B and B	DECIDUOUS / SINGLE STEM
QMu	<i>Quercus muhlenbergii</i>	CHINKAPIN OAK	-	3" CAL.	B and B	DECIDUOUS / SINGLE STEM
QMa	<i>Quercus macrocarpa</i>	BUR OAK	-	3" CAL.	B and B	DECIDUOUS / SINGLE STEM
QS	<i>Quercus shumardii</i>	SHUMARD OAK	-	3" CAL.	B and B	DECIDUOUS / SINGLE STEM
QV	<i>Quercus virginiana</i>	LIVE OAK	-	3" CAL.	B and B	EVERGREEN / SINGLE STEM
<b>SHRUBS</b>						
DW	<i>Daalylion wheeleri</i>	SOTOL	-	5 GAL.		ACCENT / PLANT AS SHOWN
ICB	<i>Ilex cornuta</i> 'Burfordii-Nana'	DWARF BURFORD HOLLY	-	5 GAL.		EVERGREEN / PLANT AT 3'-0" O.C.
IVS	<i>Ilex vomitoria</i> 'Stokes Nana'	DWARF YAUPON	-	3 GAL.		EVERGREEN / PLANT AT 30" O.C.
LBB	<i>Liriope muscari</i> 'Big Blue'	BIG BLUE LIRIOPE	-	1 GAL.		PERENNIAL / PLANT AT 30" O.C.
LMY	<i>Lantana montevidensis</i> 'New Gold'	'NEW GOLD' LANTANA	-	1 GAL.		PERENNIAL / PLANT AT 30" O.C.
LGC	<i>Leucophyllum frutescens</i> 'Gn. Cloud'	'GREEN CLOUD' CENIZO	-	5 GAL.		EVERGREEN / PLANT AT 4'-0" O.C.
MP	<i>Myrica pusilla</i>	DWARF WAX MYRTLE	-	5 GAL.		ACCENT / PLANT AS SHOWN
RIS	<i>Raphiolepis indica</i> 'Springtime'	'SPRINGTIME' INDIAN HAWTHORN	-	5 GAL.		EVERGREEN / PLANT AT 3'-0" O.C.
SJ	Little Princess Spirea	SPIREA JAPONICA 'LITTLE PRINCESS'	-	3 GAL.		DECIDUOUS / PLANT AT 30" O.C.
RA	<i>Rhus aromatica</i>	FLAMELEAF SUMAC	-	5 GAL.		DECIDUOUS / PLANT AT 4'-0" O.C.
<b>GROUNDCOVERS AND GRASSES</b>						
	<i>Cynodon dactylon</i> '419'	'419' TIFWAY BERMUDAGRASS	-		SOLID SOD	SEE SPECIFICATIONS
	<i>Cynodon dactylon</i> 'Blackjack'	'619' BUFFALO GRASS	-		HYDROMULCH	SEE SPECIFICATIONS
		3" - 4" TEXAS BLEND RIVER ROCK	-			APPLY TO 4" DEPTH OVER COMPACTED SUBGRADE W/ GEO-TEXTILE WEED BARRIER AND PRE-EMERGENT HERBICIDE. FILL UNDER ADJACENT SHRUBS.



### LANDSCAPE CALCULATION SUMMARY

Provided		Required	
Lot Size: 3.77 acres		3	51
Buffer Area on Clay Road:	4,609 SF	10	11
2 x (4,609/1000) =			
<b>Interior Parking Lot Landscaping:</b>			
Landscape Median Length:	90'		
(1) Shade trees per 60 LF (90/60 = 1.5)		2	3
(4) Orn. trees per 25 LF (90/25 = 3.6)		4	4
(2) Shade or Orn. / island			
Number of Terminal Islands: 2 (2x2) = 4		4	4
<b>Perimeter Parking Lot Landscaping:</b>			
(1) Shade tree per (40) linear feet			
Length of parking bay: 90'			
(90/40 = 2.25):		3	3
<b>Commercial to Commercial Buffer:</b>			
Provided as required			
<b>Commercial to Residential Buffer:</b>			
Provided as required			

**HORIZON**  
DESIGN AND DEVELOPMENT  
PLANNING LANDSCAPE ARCHITECTURE  
DEVELOPMENT CONSULTING  
1370 Pantheon Way, Suite 210  
San Antonio, Texas 78232  
210.831.8564 jrobinson@horizondesign-ss.com

This document is intended for interim review purposes only and is not to be used for bidding, permitting, or construction.

OWNER  
**US Renal Care, Inc**  
Mr. Jack Harrington

2905 Longview Dr.  
Jonesboro, AR 72401

PROJECT  
**USRC Sunnyvale**

South Collins Rd (Hwy 352)  
at Clay Rd.  
Sunnyvale Texas 75182

REVISIONS

PROJECT NUMBER  
**2016-049**

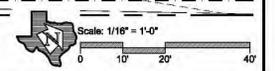
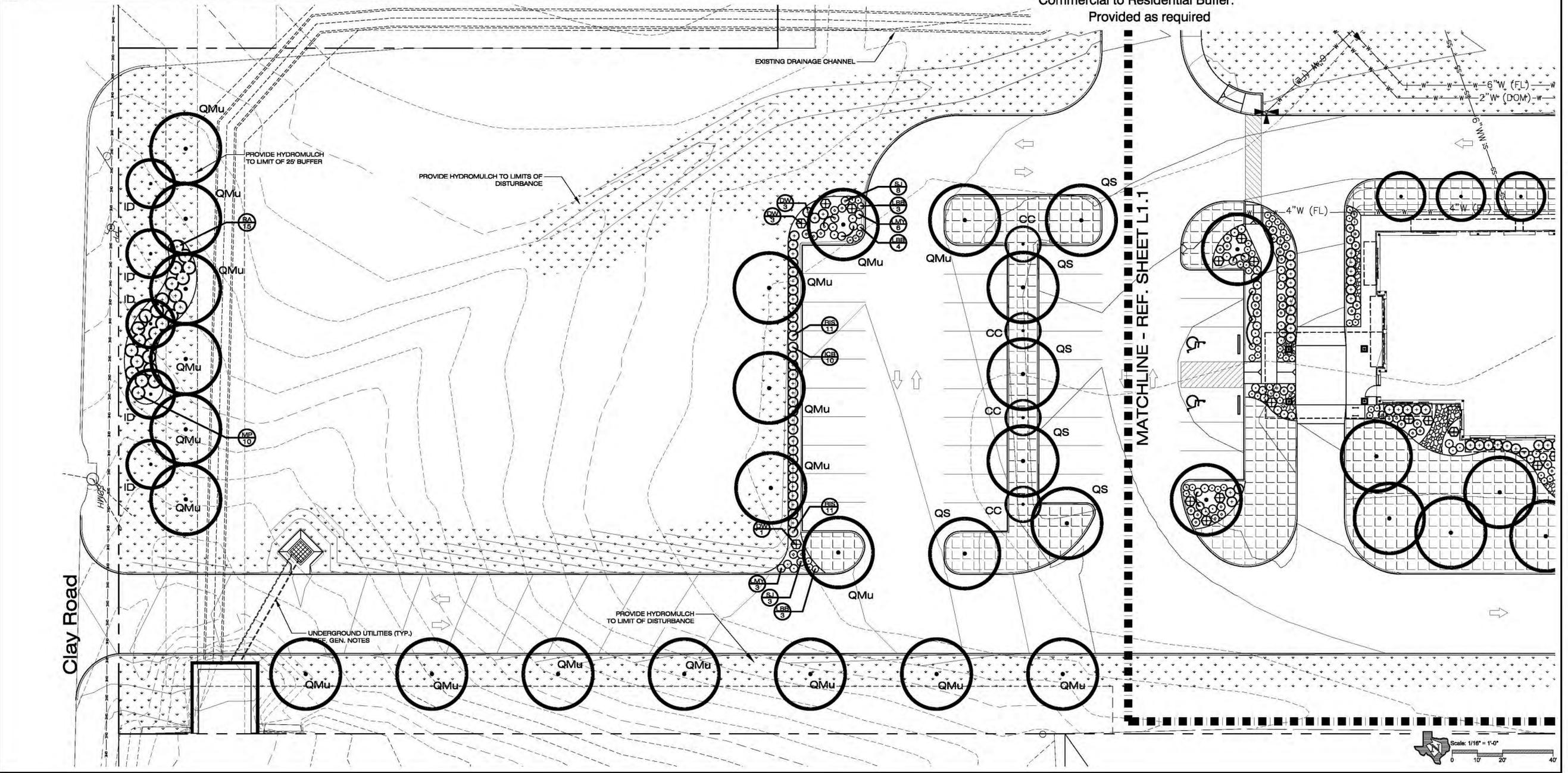
Drawn By: dr  
Checked By: jr

Sheet Title:  
**ENLARGED LANDSCAPE PLANTING PLAN**

Sheet Number:

**L1.1**

Issue Date:  
**March 11, 2016**



PLANT SCHEDULE						SIZE = CALIPER OR SPREAD
SYM.	SCIENTIFIC NAME	COMMON NAME	HGT.	SIZE	CONDITION	REMARKS
<b>TREES</b>						
CC	<i>Cercis canadensis</i> var <i>texana</i>	TEXAS REDBUD	MIN. 7'	2" CAL.		DECIDUOUS / SINGLE STEM LOW-BREAKER
ID	<i>Ilex decidua</i>	POSSUM HAW	-	2" CAL.	B and B	DECIDUOUS / SINGLE STEM
QMu	<i>Quercus muhlenbergia</i>	CHINKAPIN OAK	-	3" CAL.	B and B	DECIDUOUS / SINGLE STEM
QMa	<i>Quercus macrocarpa</i>	BUR OAK	-	3" CAL.	B and B	DECIDUOUS / SINGLE STEM
QS	<i>Quercus shumardii</i>	SHUMARD OAK	-	3" CAL.	B and B	DECIDUOUS / SINGLE STEM
QV	<i>Quercus virginiana</i>	LIVE OAK	-	3" CAL.	B and B	EVERGREEN / SINGLE STEM
<b>SHRUBS</b>						
DW	<i>Daalylron wheeleri</i>	SOTOL	-	5 GAL.		ACCENT / PLANT AS SHOWN
ICB	<i>Ilex cornuta</i> 'Burfordii-Nana'	DWARF BURFORD HOLLY	-	5 GAL.		EVERGREEN / PLANT AT 3'-0" O.C.
IVS	<i>Ilex vomitoria</i> 'Stokes Nana'	DWARF YAUPON	-	3 GAL.		EVERGREEN / PLANT AT 30" O.C.
LBB	<i>Liriope muscari</i> 'Big Blue'	BIG BLUE LIRIOPE	-	1 GAL.		PERENNIAL / PLANT AT 30" O.C.
LMY	<i>Lantana montevidensis</i> 'New Gold'	'NEW GOLD' LANTANA	-	1 GAL.		PERENNIAL / PLANT AT 30" O.C.
LGC	<i>Leucophyllum frutescens</i> 'Gn. Cloud'	'GREEN CLOUD' CENIZO	-	5 GAL.		EVERGREEN / PLANT AT 4'-0" O.C.
MP	<i>Myrica pusilla</i>	DWARF WAX MYRTLE	-	5 GAL.		ACCENT / PLANT AS SHOWN
RIS	<i>Raphiolepis indica</i> 'Springtime'	'SPRINGTIME' INDIAN HAWTHORN	-	5 GAL.		EVERGREEN / PLANT AT 3'-0" O.C.
SJ	<i>Little Princess Spiraea</i>	SPIREA JAPONICA 'LITTLE PRINCESS'	-	3 GAL.		DECIDUOUS / PLANT AT 30" O.C.
RA	<i>Rhus aromatica</i>	FLAMELEAF SUMAC	-	5 GAL.		DECIDUOUS / PLANT AT 4'-0" O.C.
<b>GROUNDCOVERS AND GRASSES</b>						
	<i>Cynodon dactylon</i> '419'	'419' TIFWAY BERMUDAGRASS	-		SOLID SOD	SEE SPECIFICATIONS
	<i>Cynodon dactylon</i> 'Blackjack'	'819' BUFFALO GRASS	-		HYDROMULCH	SEE SPECIFICATIONS
		3" - 4" TEXAS BLEND RIVER ROCK	-			APPLY TO 4" DEPTH OVER COMPACTED SUBGRADE W/ GEO-TEXTILE WEED BARRIER AND PRE-EMERGENT HERBICIDE. FILL UNDER ADJACENT SHRUBS.

- GENERAL NOTES:**
- REFER TO SPECIFICATIONS FOR ALL CONTRACT PLANTING.
  - INSTALL APPROVED IMPORTED PLANTING MIX TO MIN. DEPTH OF 6" IN ALL AREAS SCHEDULED AS LANDSCAPE PLANTING AREAS.
  - INSTALL APPROVED IMPORTED TOPSOIL TO 4" DEPTH IN ALL TURFGRASS AREAS.
  - CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES IN THE FIELD PRIOR TO INSTALLATION AND MUST REPORT ANY DEVIATION IN SITE CONDITIONS TO THE LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH WORK IN THE AFFECTED AREA.
  - WHERE SHOWN ON THESE PLANS, UTILITY INFORMATION IS PROVIDED FOR REFERENCE ONLY. REF. CIVIL AND MEP PLANS FOR ALL UTILITY INFORMATION.
  - VERIFY LOCATION AND DEPTH OF ALL EXISTING AND PROPOSED UTILITIES PRIOR TO ANY EXCAVATION. IN THE EVENT POTENTIAL CONFLICT(S) OCCUR BETWEEN UTILITIES AND LANDSCAPE IMPROVEMENTS, IMMEDIATELY CEASE WORK IN THE AFFECTED AREA, REPORT THE CONFLICT(S) TO THE OWNER'S REPRESENTATIVE, AND DO NOT PROCEED UNTIL RECEIPT OF SPECIFIC WRITTEN DIRECTION.
- URBAN DEER NOTES:**
- AT THE TIME THESE DOCUMENTS WERE PREPARED THE LANDSCAPE ARCHITECT WAS NOT AWARE OF A LOCAL URBAN DEER POPULATION.
  - IN THE EVENT AN URBAN DEER POPULATION IS DISCOVERED, CONTRACTOR IS SOLELY RESPONSIBLE FOR PROTECTING ALL NEWLY-INSTALLED PLANTS THROUGH THE 30-DAY MAINTENANCE PERIOD.
  - APPLY 'LIQUID FENCE' (OR APPROVED EQUAL) TO ALL PLANTS AS NEEDED TO DISCOURAGE BROWSING BY DEER.
  - ANY NEWLY-INSTALLED PLANTS EATEN OR BROWSED BY DEER PRIOR TO THE EXPIRATION OF THE 30-DAY MAINTENANCE PERIOD SHALL BE REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER.

**HORIZON**  
 DESIGN AND DEVELOPMENT  
 PLANNING LANDSCAPE ARCHITECTURE  
 DEVELOPMENT CONSULTING  
 1370 Pantheon Way, Suite 210  
 San Antonio, Texas 78232  
 210.831.8564 jrobison@horizondesign-ia.com

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REVISIONS

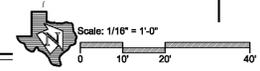
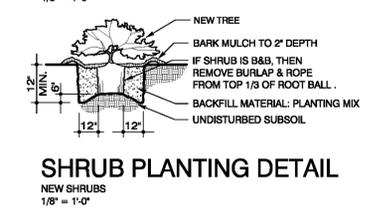
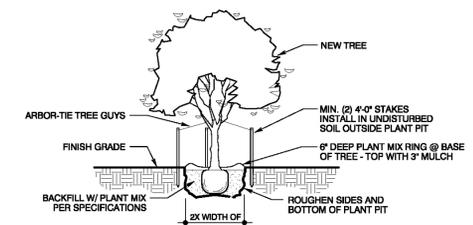
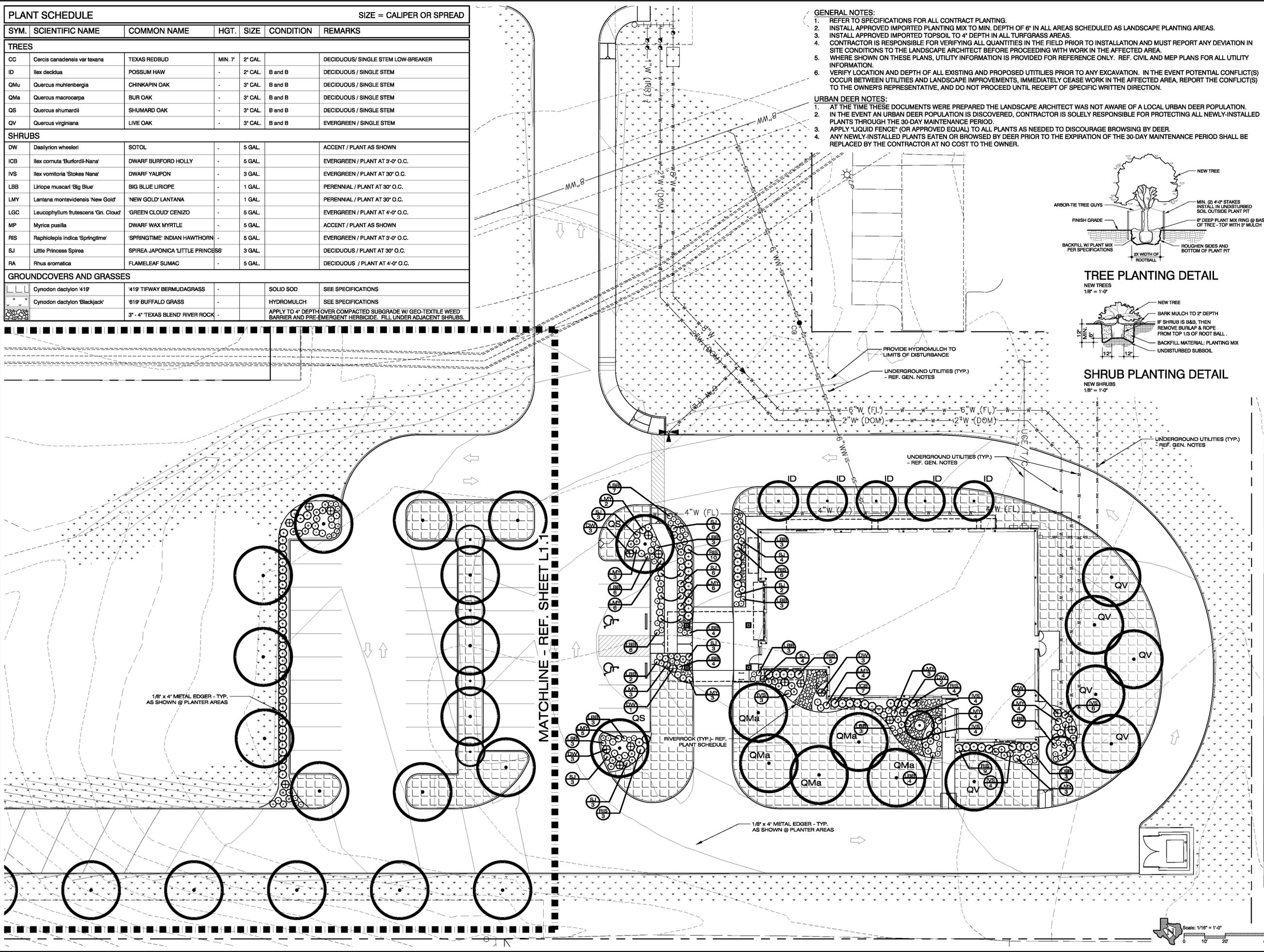
PROJECT NUMBER  
**2016-049**

Drawn By: dr  
 Checked By: jr

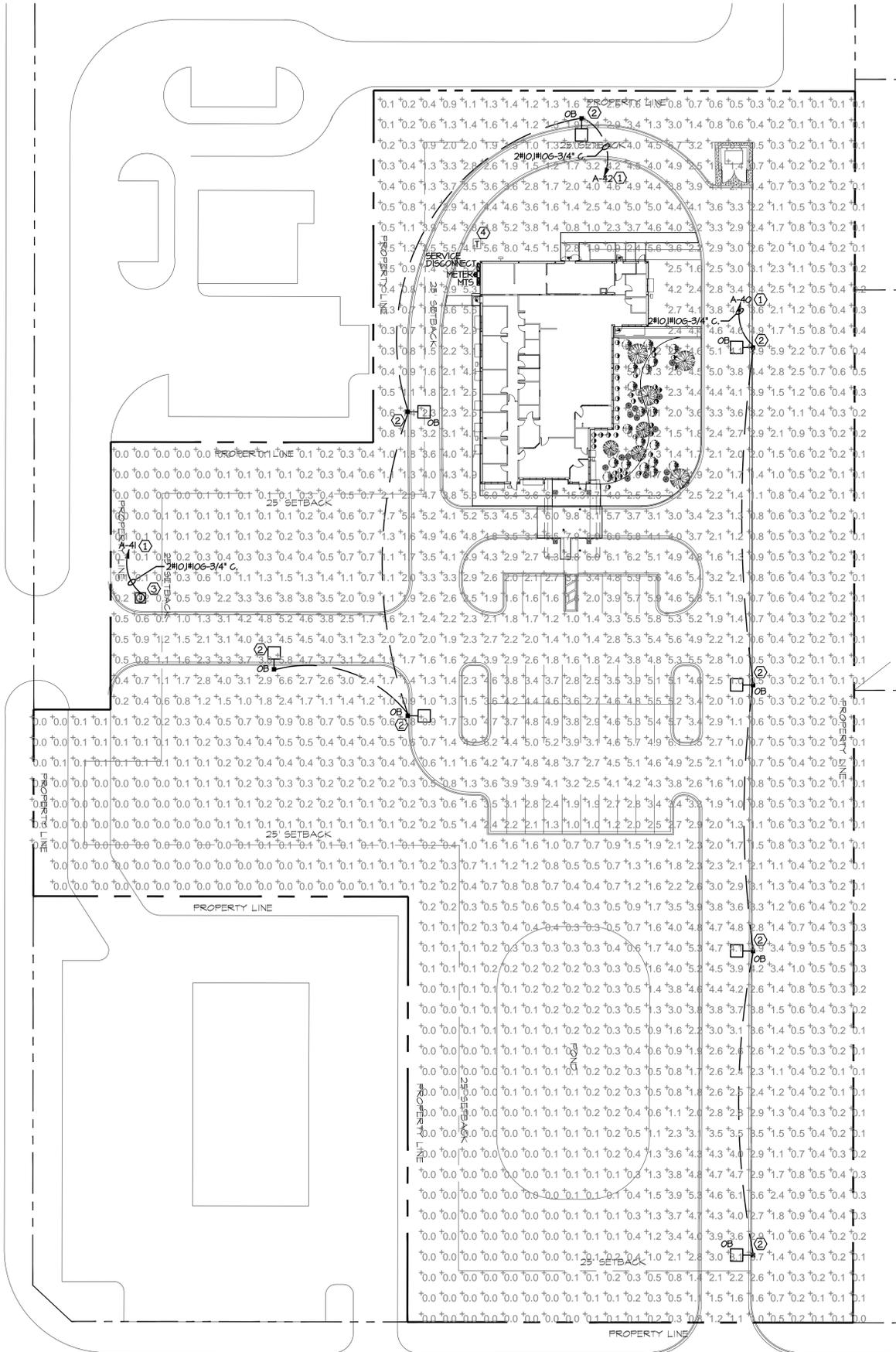
Sheet Title:  
**ENLARGED LANDSCAPE PLANTING PLAN**

Sheet Number:  
**L1.2**

Issue Date:  
**March 11, 2016**



Hwy 352

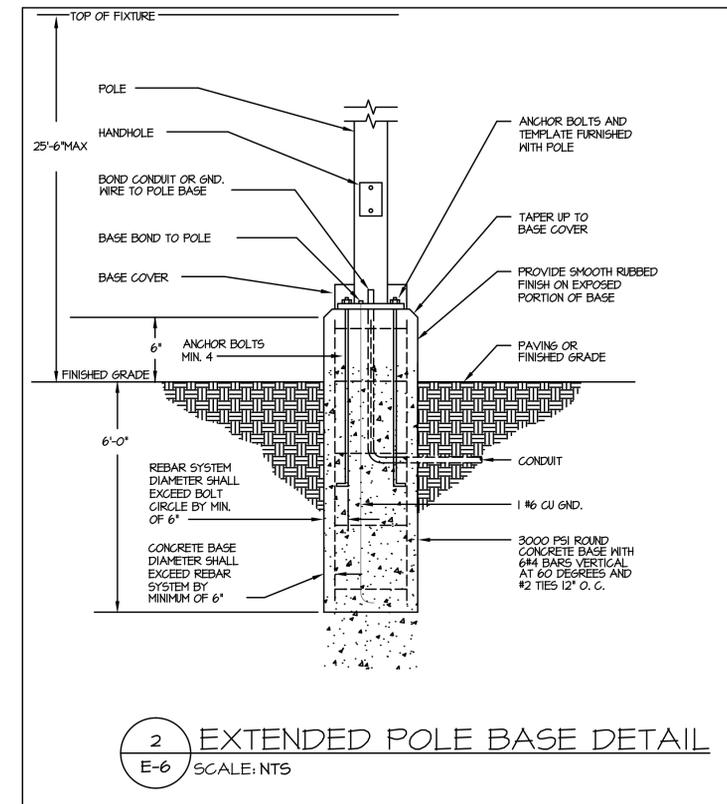


### GENERAL NOTES:

1. FIXTURES M, HE, OA, OAE AND BUILDING SIGN ARE SHOWN FOR REFERENCE ONLY. THESE FIXTURES ARE SHOWN AND CIRCUITED ON E-2.
2. COORDINATE UTILITY CONDUIT, TRANSFORMER PAD CONSTRUCTION AND LOCATION OF UTILITY POLE WITH CPE.

### KEYED NOTES:

- ① ROUTE EXTERIOR LIGHTING CIRCUIT THROUGH PHOTOCELL/TIMECLOCK CONTACTOR AS INDICATED IN DETAIL 3/E-2
- ② MOUNT POLE ON CONCRETE BASE AS SHOWN IN DETAIL 2/E-6
- ③ J-BOX FOR MONUMENT SIGNAGE - 120V - FIELD COORDINATE EXACT LOCATION W/ OWNER & CIVIL ENGINEER PRIOR TO INSTALLATION.
- ④ UTILITY TRANSFORMER AND US FEEDER TO SERVICE. COORDINATE EXACT TRANSFORMER LOCATION WITH UTILITY COMPANY.



2 EXTENDED POLE BASE DETAIL  
E-6 SCALE: NTS

1 SITE PLAN - ELECTRICAL  
E-6 SCALE: 1/32" = 1'-0"

**IMPORTANT**  
Contractor is to verify all dimensions and conditions before executing any work.

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**Alex Roush Architects, Inc.**  
2255 CUMBERLAND PARKWAY  
BUILDING 100  
ATLANTA, GEORGIA 30399  
(770) 333-7878  
FAX 333-7902

**SUNNYVALE DIALYSIS  
US RENAL CARE INC.**  
CLAY RD  
SUNNYVALE, TX 75182

DRAWN BY:	SPJ
DATE:	02/29/16
PROJECT NO.:	1605
REVISIONS	
REV.	
REV.	
REV.	

Sheet No.  
**E-6**

**Shepherd, Harvey & Associates, Inc.**  
4855 River Green Parkway, Suite 400  
Duluth, Georgia 30096-2569  
770-495-4007 FAX 770-495-7112 Project Number: 16-026

# VIPER L SERIES

LARGE VIPER LUMINAIRE

Cat.#

Job

Sunnyvale

Type

OB


**BEACON**  
 design . performance . technology

Approvals

## SPECIFICATIONS

### Intended Use:

The Beacon Viper luminaire is available in two sizes with a wide choice of different LED Wattage configurations and optical distributions designed to replace HID lighting up to 1000W MH or HPS allow 5 different mounting options for application in a wide variety of new and existing installations. Luminaires are suitable for wet locations.

### Construction:

- One piece optical cartridge system consisting of an LED engine, LED lamps, optics, gasket and stainless steel bezel.
- Cartridge is held together with internal brass standoffs soldered to the board so that it can be field replaced as a one piece optical system.
- Two-piece silicone and micro-cellular polyurethane foam gasket ensures a weather-proof seal around each individual LED.

### LED/Optics:

- LED driver accepts 100V through 277V, 50 Hz to 60 Hz (UNIV), or a driver that accepts 347V or 480V input.
- Power factor is .92 at full load.
- All electrical components are rated at 50,000 hours at full load and 25°C ambient conditions per MIL- 217F Notice 2.
- Dimming drivers are standard with connections for external dimming equipment available upon request.
- Component-to-component wiring within the luminaire may carry no more than 80% of rated load and is listed by UL for use at 600VAC at 50°C or higher.
- Plug disconnects are listed by UL for use at 600 VAC, 13A or higher. 13A rating applies to primary (AC) side only.

### Electrical:

- Fixture electrical compartment shall contain all LED driver components and shall be provided with a push-button terminal block for AC power connections.
- Optional 7-pin ANSI C136.41-2013 twist-lock photo control receptacle available. Compatible with ANSI C136.41 external wireless control devices.
- Surge protection - 20KA; Shuts off at end of life.

### Controls/Options:

- Available with an optional passive infrared (PIR) motion sensor capable of detecting motion 360° around the luminaire. When no motion is detected for the specified time, the Motion Response system reduces the Wattage to factory preset level, reducing the light level accordingly. When motion is detected by the PIR sensor, the luminaire returns to full Wattage and full light output. Please contact Beacon Products if project requirements vary from standard configuration.

- Available with Energeni for optional set dimming, timed dimming with simple delay, or timed dimming based on hours of operation or time of night (see [www.beaconproducts.com/products/energeni](http://www.beaconproducts.com/products/energeni)).
- Also available with **Beaconnect** Wireless Control System (see **Beaconnect** product page for more details [www.beaconproducts.com/products/beaconnect](http://www.beaconproducts.com/products/beaconnect)).

### Installation:

- Mounting options for horizontal arm, vertical tenon or traditional arm mounting available. Mounting hardware included.
- Product is suitable for applications requiring 3G testing prescribed by ANSI C136.31

### Finish:

- Beacote V polyester powder-coat electro-statically applied and thermocured.
- Beacote V finish consists of a five stage pretreatment regimen with a polymer primer sealer and top coated with a thermoset super TGIC polyester powder coat finish.
- The finish meets the AAMA 605.2 performance specification which includes passing a 3000 hour salt spray test for corrosion resistance and resists cracking or loss of adhesion per ASTM D522 and resists surface impacts of up to 160 inch-pounds.

### Listings:

The luminaire shall be NRTL certified to UL 1598 and 8750 standards for use in wet locations.

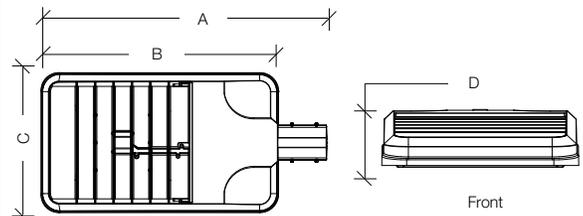
### Warranty:

Five year limited warranty (for more information visit: [www.hubbellighting.com/resources/warranty](http://www.hubbellighting.com/resources/warranty)).

## PRODUCT IMAGE(S)

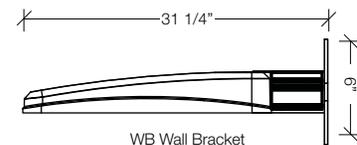


## DIMENSIONS

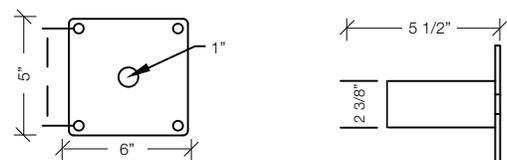


A	B	C	D	Weight:	EPA
29.12"	24.19"	14.25"	4.13"	25.0 lbs	1.0 ft <sup>2</sup>
(578 mm)	(425 mm)	(105 mm)	(105 mm)	(11.3 kg)	

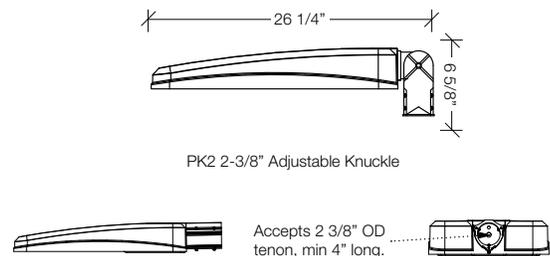
## MOUNTING OPTIONS



WB Wall Bracket



PK 2-3/8" Adjustable Knuckle



SF2 2-3/8" OD Slip Fitter



RA Rectangular Arm

## CERTIFICATIONS/LISTINGS

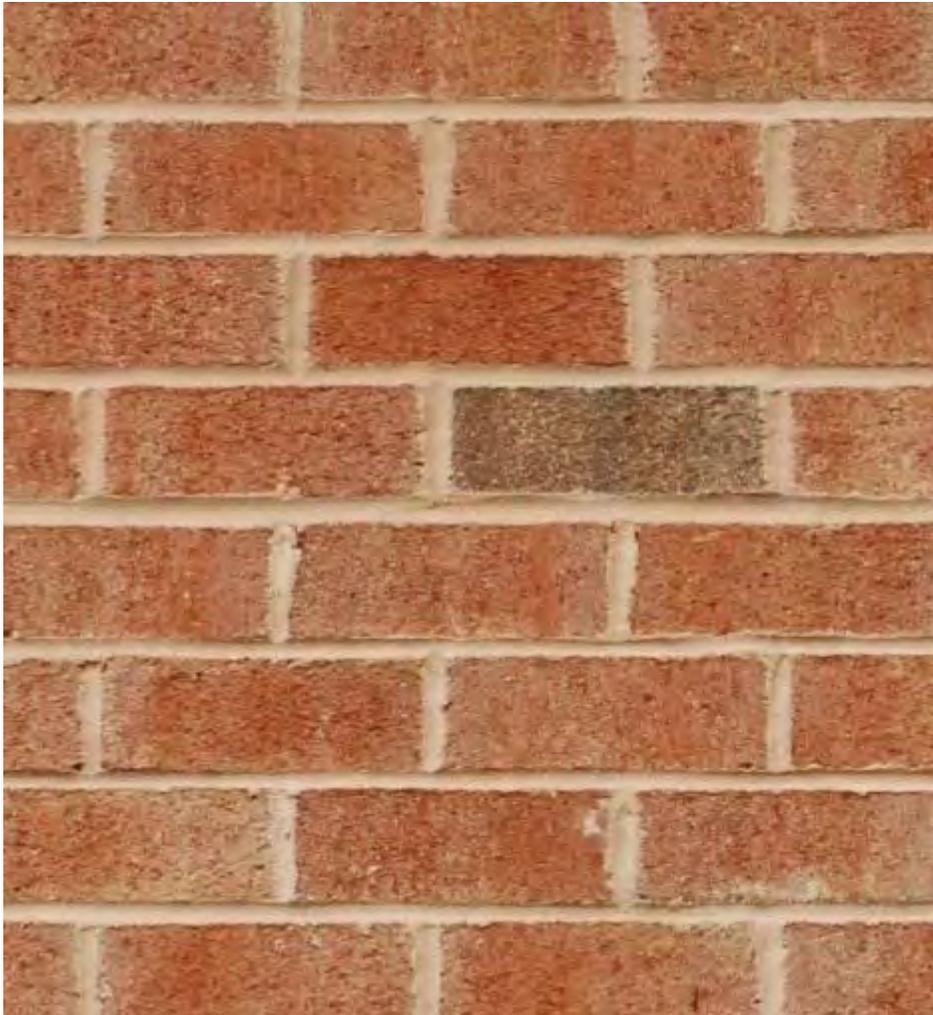


Beacon Products • 2041 58th Avenue Circle East Bradenton, FL 34203 • Phone: 800-345-4928

Due to our continued efforts to improve our products, product specifications are subject to change without notice.

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**HUBBELL**  
 Lighting

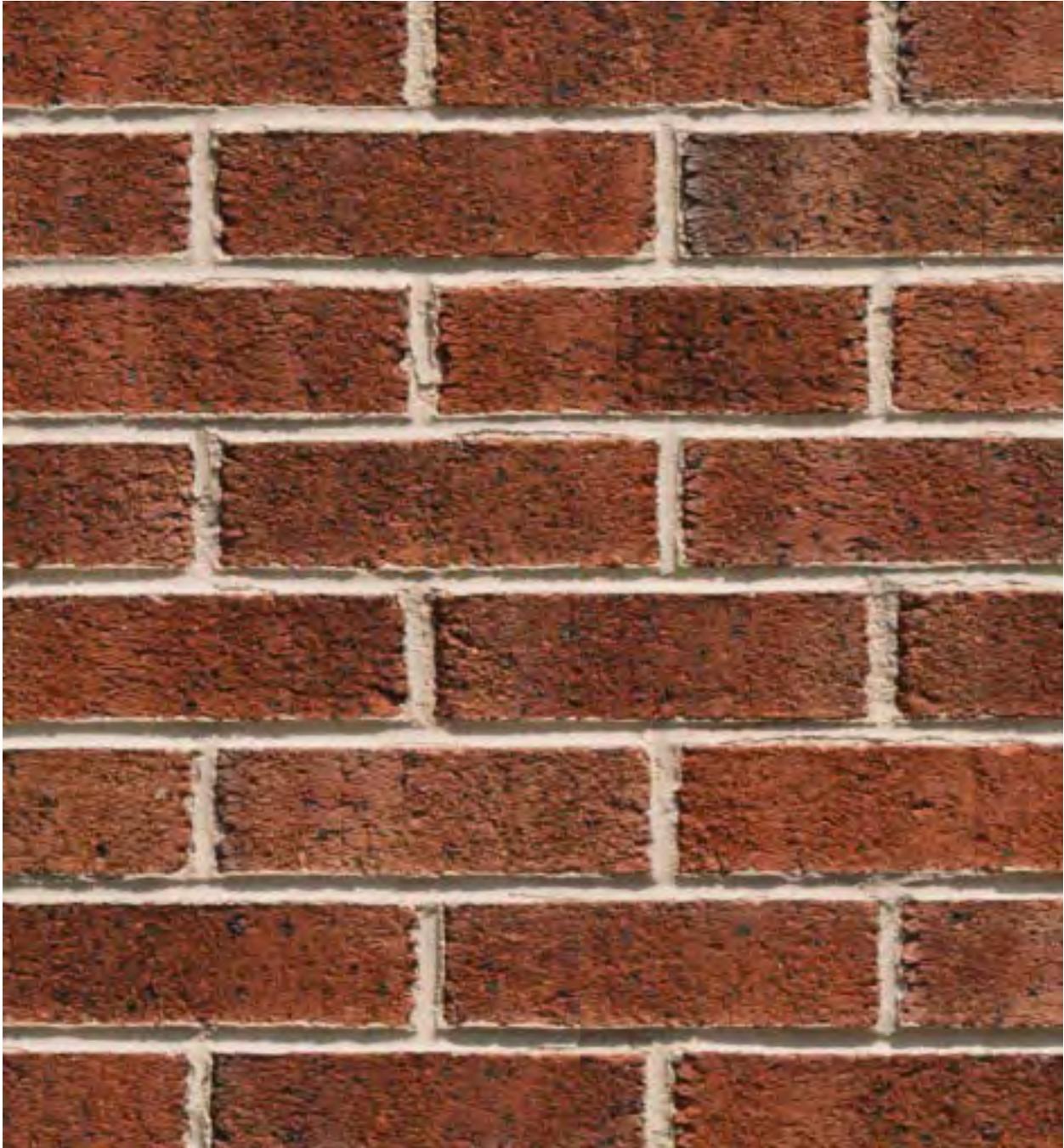


## Sunnyvale Dialysis

Material Type "A" - Field Brick by Triangle

Brick - Parkway Collection - Old South

Mortar Color - Cemex Light Sand



## Sunnyvale Dialysis

Material Type "B" - Accent Brick by Triangle  
Brick - Downtown Collection - Chestnut  
Mortar Color - Cemex Extra Dark



### Sunnyvale Dialysis

Material Type "C" - Precast Cap by Sun  
Precast Co., Inc. - Charcoal Antiqued -  
703 Mortar Color - Cemex Extra Dark



## Sunnyvale Dialysis

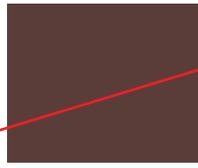
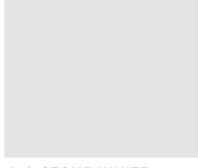
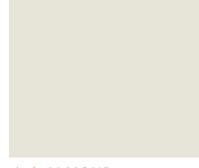
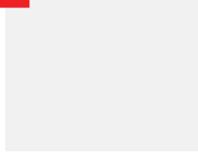
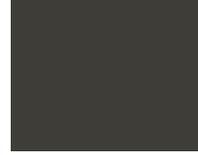
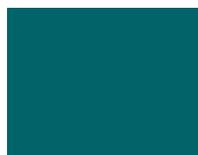
Material Type "D" - Stone By Cooper Stone -

Dimensional Ashlar - Cordova Cream

Mortar Color - Cemex Cream

# Color Chart

Sunnyvale Dialysis  
Material Type "E" - Fascia and Soffit Panels by Pac-Clad - Flush Soffit Panels 12" wide - Stone White - Brake Metal Fascia - Stone White

					
▲★CARDINAL RED	▲★COLONIAL RED	BURGUNDY			
					
▲★STONE WHITE	▲★GRANITE	▲★SANDSTONE	▲★ALMOND	▲★MEDIUM BRONZE	▲★DARK BRONZE
					
▲★SLATE GRAY	▲★BONE WHITE	▲★MUSKET GRAY	▲★CHARCOAL	MIDNIGHT BRONZE	MATTE BLACK
					
▲★CITYSCAPE	INTERSTATE BLUE	▲★HEMLOCK GREEN	▲★ARCADIA GREEN	▲★PATINA GREEN	▲★HUNTER GREEN
					
▲★MILITARY BLUE	AWARD BLUE	▲★TEAL	HARTFORD GREEN	FOREST GREEN	▲★EVERGREEN
		Kynar 500® or Hylar 5000® pre-finished steel and aluminum for roofing, curtainwall and storefront applications.			
★BERKSHIRE BLUE	▲★SLATE BLUE	 <span>● Denotes PAC-CLAD Metallic Colors</span> <span>▲ Denotes PAC-CLAD Cool Colors</span> <span>★ Denotes ENERGY STAR Colors</span>			

See back for color availability chart.

## PAC-CLAD® Metallic Colors

					
●▲★ZINC	●▲★SILVER	●▲★COPPER PENNY	●▲★AGED COPPER	●▲★CHAMPAGNE	●▲★WEATHERED ZINC



**Notice of Application for  
Site Plan and Preliminary Plat  
Town of Sunnyvale  
Planning & Zoning Commission**

The Town of Sunnyvale has received a request from Jose Cantu, of KLove Engineering, for a site plan and preliminary plat approval for US Renal Care – Sunnyvale. The applicant proposes to construct a medical center on the subject property. The location of the property is shown on the attached exhibit.

The Planning and Zoning Commission will hear this application on Monday, March 21, 2016 and the Town Council will consider the application on either Monday, March 28, 2016 or Monday, April 11, 2016. The hearings will be conducted in open session at Town Hall, 127 Collins Road at 7:00 P.M. If you have comments on this application, you may present them in person at these meetings or may submit written comments at any time on or before date of the hearings.

The site plan application and supporting documents are on file at Town Hall and may be examined at no charge. For further information contact Rashad Jackson, Director of Development Services at (972) 203-4103 or [rashad.jackson@townofsunnyvale.org](mailto:rashad.jackson@townofsunnyvale.org).

- I am in favor of the site plan
- I am in favor of the preliminary plat
- I am opposed to the site plan
- I am opposed to the preliminary plat

Explanation:

---



---



---

Signature:

*Paul E. Cash*

Printed Name:

PAUL E. CASH

Address:

347 S. TRIPP RD.

Date:

3/14/16



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- I am opposed to the site plan
- I am opposed to the preliminary plat

Explanation:

---



---



---

Signature:

*Robert Wood*

Printed Name:

ROBERT WOOD

Address:

189 MUSTANG DR

Date:

3/14/16



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- I am in favor of the preliminary plat
- I am opposed to the site plan
- I am opposed to the preliminary plat

Explanation:

0016 PROPERTY 152 324 South COLLINS  
SUNNYVALE, TX 75182  
(972) 226-3340

Signature:

BILL DOUGLASS / Bill Douglas

Printed Name:

BILL DOUGLASS DOUGLASS DISTRIBUTIVES

Address:

325 E. FOREST AVE SHERMAN, TX 75090

Date:

3/15/16



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- I am in favor of the site plan
- I am in favor of the preliminary plat
- I am opposed to the site plan
- I am opposed to the preliminary plat

Explanation: I would like to have a  
brick wall between my property  
and the commercial property. I am waiting  
for 15 years.

Signature: [Handwritten Signature]

Printed Name: EMMANUEL ABRAHAM

Address: 187 Mustang, Sunnyvale, TX 75182

Date: 3/21/16



**Notice of Application for  
Site Plan and Preliminary Plat  
Town of Sunnyvale  
Planning & Zoning Commission**

The Town of Sunnyvale has received a request from Jose Cantu, of KLove Engineering, for a site plan and preliminary plat approval for US Renal Care – Sunnyvale. The applicant proposes to construct a medical center on the subject property. The location of the property is shown on the attached exhibit.

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- I am in favor of the site plan
- I am in favor of the preliminary plat
- I am opposed to the site plan
- I am opposed to the preliminary plat

Explanation: SEE ATTACHMENT

Signature: 

Printed Name: DAVID GOODHART

Address: 416 MUSTANG DR, Sunnyvale, TX

Date: 3/16/16

Attachment to Jose Cantu/KLove Engineering request for Site Plan and Preliminary Plat approval for US Renal Care:

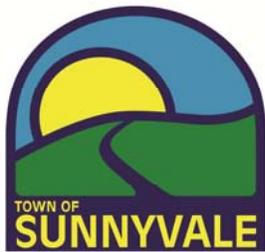
- (1) The Applicant contractually agreed to veneer any structure it built with stone similar to the stone used for the Stone Canyon Office Buildings (see actual language from contract below). It is difficult to determine from the materials provided whether their application utilizes those materials. One label on the submitted materials shows "Stone by Texas Stone Products-Sawn Stone White." It is my belief that this diagram was prepared/submitted PRIOR TO the finalization of the purchase contract which included the below language. To be on the face side, I recommend subjecting any approval with the contractual language below.

*7A.(f) Purchaser (or any successor or assign) will veneer at least 90% of any building erected on the Property with stone similar to the stone used for the Stone Canyon Office Buildings at 190 S. Collins Rd., Sunnyvale, Texas and the "Cosa Nostra" restaurant building located at 200 S. Collins Rd., Sunnyvale, Texas. This provision (and representation) will survive the closing.*

- (2) The Applicant proposes to erect an approximate 7,500 sq.ft. building on a 3.777 acre tract of land. 3.777 acres is approximately 164,500 sq. ft., utilizing about 4.5% of the total square footage of the total tract. While a landowner can generally do what it pleases with its own property, the Town does have an interest in seeing that the overall development of the business corridor is utilized at its highest and best use, notwithstanding the loss in property and sales tax revenue expected from the Town's so-called business corridor. The application, as submitted, will make it extremely difficult to ever maximize the full potential of the tract. Because of the location of the proposed building, even a future replat is impractical at best. My recommendation is to coax the owner (or the subsequent owner, as it is my understanding that the developer will immediately flip this property to a physician) to take another look at the overall development of this site so that the physician, and the Town, can make lemonade out of lemons. With small changes to the overall plan, a renal center can be built together with a good mix of office and retail. The Stone Canyon Subdivision would benefit, the Town would benefit, and the physician/owner would benefit. It is my understanding that the future physician/owner is not aware of the (practical and replating) challenges he faces once this plan is set in stone.

(3) The Applicant should be required to connect the back driveway between Stone Canyon Drive and Clay Road. This is a critical piece of the overall development of the area. Consumers/Invitees from Clay Road will be able to access all the services to the entire center once the drive is connected.

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# Town of Sunnyvale

March 28, 2016

Prepared By: **Rashad Jackson, AICP**  
**Director of Development Services**

## Summary:

**APPLICANT:** JOSE CANTU  
**AT OR ABOUT:** 3.7 ACRES NEAR SE QUADRANT OF THE INTERSECTION OF  
**S. COLLINS RD (SH 352) AND CLAY RD**  
**REQUEST:** PRELIMINARY PLAT – US RENAL CARE SUNNYVALE

## Background:

The applicant is the representative for property located at or about the intersection of South Collins Road and Clay Road (behind the Cosa Nostra restaurant). The parcel of land is approximately 3.7 acres. The property is surrounded by a residential property to the east, general business zoning to the south and South Collins Road (SH 352) to the west. The applicant proposes to plat the subject lot for the development of a US Renal Care facility. US Renal Care provides dialysis medical services and outpatient care. The property is zoned appropriately for the proposed use. The applicant has established the necessary easements, setbacks and buffers required for the development of the subject lot.

- Front setback – 50 feet
- Side setbacks – 25 feet
- Rear setback – 25 feet

*General Business Zoning District:* “The General Business (GB) district is intended to provide retail, service and office uses that serve the entire community as well as regional needs. The General Business district corresponds to and implements in part the Retail land use category on the Land Use Diagram of the Comprehensive Plan...”

The proposed preliminary plat conforms to the Town zoning and subdivision ordinance requirements.

## Public Notice

Notice was published within the Town’s Official Newspaper on Wednesday, March 2<sup>nd</sup>. Letters were also provided to surrounding properties meeting the distance requirements as provided within the Town Ordinance. Twenty-nine (29) letters were sent out. As of the writing of this staff memo, 3 letters had been returned in favor and 1 letter in opposition of the request.

## Planning & Zoning Commission Recommendation – 3/21/16

Chairman Demko called for a motion. Commissioner Daniel made a motion to approve the request as submitted. Commissioner Sandler seconded. Chairman Demko called for a vote, the motion passed unanimously.

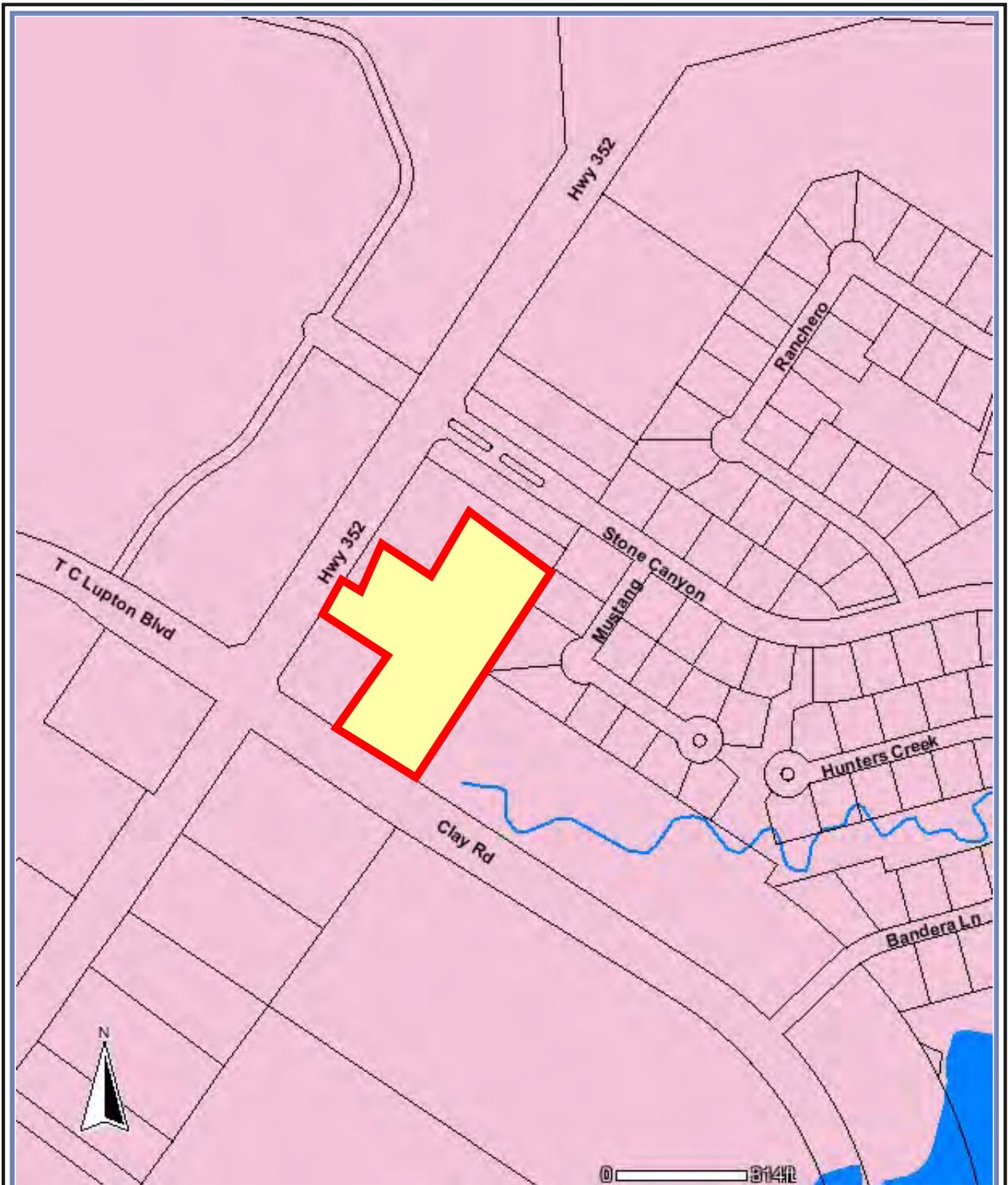
### **Staff Recommendation**

Town staff has the following comments/recommendation for consideration:

1. Town staff recommends approval. Town staff comments must be satisfactorily addressed prior to construction.
2. A shared access and maintenance agreement should be drafted to address the shared use of the Collins Road entry. As it exists, the Collins Road entry is currently platted within the lot boundaries of an abutting property owner (Cosa Nostra). The new USRC medical building, Cosa Nostra and the Orthopedic Center will all use the Collins Road entry. The abutting property owner (Cosa Nostra) noted responsibility for the maintenance of the Collins Road entry but he has concerns in regards to future maintenance and shared use. *At the Planning & Zoning Commission meeting held on March 21<sup>st</sup>, 2016, the applicant stated that they would try to work on establishing a shared maintenance agreement for the Collins Road entry.*

### **Attachments**

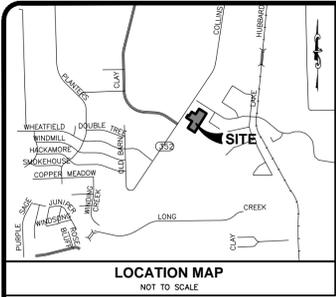
- Location Map
- Proposed preliminary plat



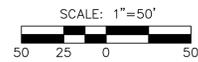
Dallas Central  
Appraisal District  
[www.dallascad.org](http://www.dallascad.org)

**DISCLAIMER**

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.



LOCATION MAP NOT TO SCALE

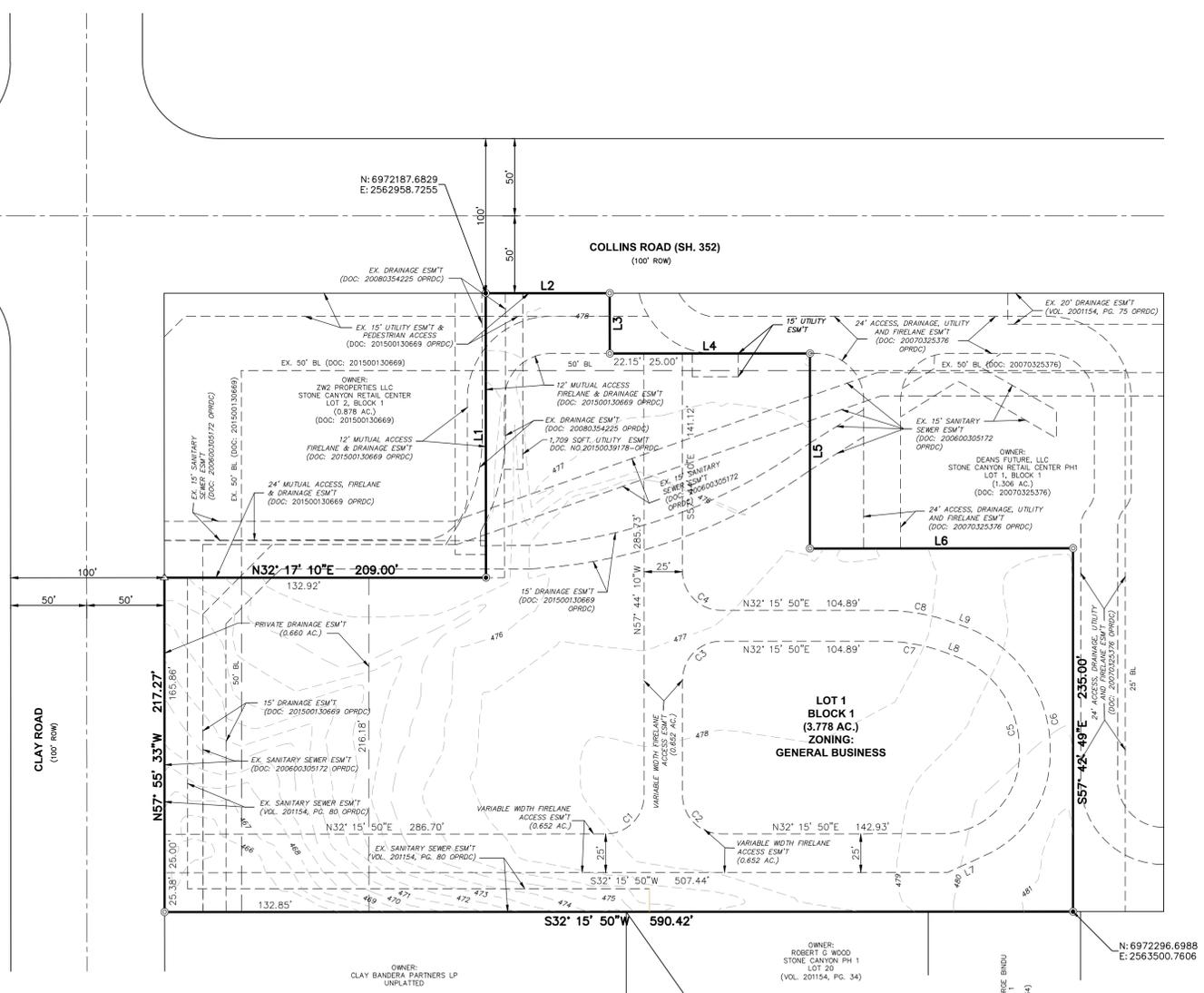


THOMAS D. COATS SURVEY, ABSTRACT NO. 331 - 3.778 ACRES

LEGEND table with symbols for existing contours, acres, official public records, easements, volume, page, existing building line, property line, existing easement, proposed building setback line, proposed easement, found iron pins, and calc points.

LINE TABLE with columns for Line #, Length, and Direction. Includes lines L1 through L9.

CURVE TABLE with columns for Curve #, Length, Radius, Delta, Chord, and Chord Bearing. Includes curves C1 through C8.



STATE OF TEXAS OWNERS CERTIFICATE

BEING A 3.777 ACRE TRACT OUT OF THE T.D. COATS SURVEY, ABSTRACT NO. 331, AND THE J.P. LAWRENCE SURVEY, ABSTRACT NO. 807, TOWN OF SUNNYVALE, DALLAS COUNTY, TEXAS; BEING THE REMAINING PORTION OF A CALLED 5863 ACRE TRACT AS DESCRIBED IN DOCUMENT TO PAUL E. CASH IN VOLUME 9968A, PAGE 244 OF THE DEED RECORDS OF DALLAS COUNTY, TEXAS; SAID 3.777 ACRE TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS DESCRIPTION AS FOLLOWS: BEGINNING AT A FOUND 1/2" IRON PIN WITH YELLOW ROD PROPERTY CAP, AT THE SOUTHWEST CORNER OF A CALLED 4984 ACRE TRACT OF LAND AS DESCRIBED IN DOCUMENT TO CLAY BANDERA PARTNERS, LP, RECORDED IN DOCUMENT NO. 206606818 OF THE OFFICIAL PUBLIC RECORDS OF DALLAS COUNTY, TEXAS; BEING THE MOST SOUTHWEST CORNER HEREOF; FROM WHENCE A FOUND X-CUT IN CONCRETE AT THE INTERSECTION OF THE NORTHERLY RIGHT-OF-WAY LINE OF SAID CLAY ROAD, AND THE EASTERLY RIGHT-OF-WAY LINE OF HIGHWAY NO. 382 BEARS NORTH 71°51' WEST, A DISTANCE OF 184.00'; THENCE ALONG THE OUT BOUNDS OF SAID 4883 ACRE TRACT, AND THE OUT BOUNDS OF THE REMAINING PORTION OF SAID CASH TRACT, AND HEREOF THE FOLLOWING COURSES AND DISTANCES: 1) NORTH 32°17'11" EAST, A DISTANCE OF 39.27' TO A 1/2" IRON PIN SET; 2) NORTH 17°11' EAST, ALONG THE EASTERLY RIGHT-OF-WAY LINE OF SAID HIGHWAY NO. 382, AT THE MOST WESTERLY CORNER HEREOF; 3) SOUTH 32°17'11" WEST, ALONG THE WESTERLY OUT BOUNDS OF SAID STONE CREEK PHASE ONE, THE WESTERLY LINE OF SAID 4984 ACRE TRACT, THE EASTERLY LINE OF SAID CASH TRACT, AND HEREOF, A DISTANCE OF 590.42' TO THE POINT OF BEGINNING, CONTAINING 3.777 ACRES, MORE OR LESS.

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT PAUL E. CASH ACTING BY AND THROUGH HIS DULY AUTHORIZED AGENT, WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED, GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS 20th DAY OF FEBRUARY, A.D. 2016.

STATE OF TEXAS COUNTY OF DALLAS

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED ROBERT G. WOOD, REGISTERED PROFESSIONAL LAND SURVEYOR NO. 5938, WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED, GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS 20th DAY OF FEBRUARY, A.D. 2016.

OWNER HEREBY GRANTS THE TOWN OF SUNNYVALE THE IRREVOCABLE OPTION WHICH OPTION IS COUPLED WITH AN INTEREST, RUNS WITH THE LAND AND WHICH OPTION SHALL EXPIRE TWENTY (20) YEARS FROM THE DATE OF THIS PLAT, TO RECEIVE BY DEDICATION IN FEE SIMPLE FOR PARK, RECREATION AND DRAINAGE PURPOSES ALL OPEN SPACE, LANDSCAPE EASEMENTS, AND TRAIL IMPROVEMENTS SHOWN HEREON AND ASSOCIATED THEREWITH AT NO COST TO THE TOWN OF SUNNYVALE. THIS OPTION MAY BE EXERCISED BY NOTICE FROM THE TOWN TO OWNER OR ITS SUCCESSORS OR ASSIGNS.

THE EASEMENT, RIGHTS, AND PRIVILEGES GRANTED BY THIS CONVEYANCE ARE EXCLUSIVE, AND OWNER COVENANTS NOT TO CONVEY ANY OTHER EASEMENT OR CONFLICTING RIGHTS IN THE AREA COVERED BY THIS GRANT. THE EASEMENTS SHOWN HEREON SHALL BE PERPETUAL. OWNER'S HEIRS, PERSONAL REPRESENTATIVES, SUCCESSORS, AND ASSIGNS ARE AND SHALL BE BOUND TO WARRANT AND FOREVER DEFEND THE EASEMENT AND RIGHTS CONVEYED IN THIS INSTRUMENT AGAINST EVERY PERSON, LAWFULLY CLAIMING OR TO CLAIM ALL OR ANY PART OF THE INTEREST IN THE PROPERTY.

THIS PLAT APPROVED SUBJECT TO ALL PLATING ORDINANCES, RULES, REGULATIONS, AND RESOLUTIONS OF THE TOWN OF SUNNYVALE, TEXAS.

THIS IS A SUBDIVISION PLAT ESTABLISHING LOT - BLOCK - BEING A TOTAL OF 3.777 ACRES OF LAND, OUT OF THE THOMAS D COATS ABSTRACT 331 PAGE 505, TRACT 4-2, SUNNYVALE, TEXAS.

WITNESS MY HAND THIS 20th DAY OF FEBRUARY, 2016.

BY: OWNER: PAUL E. CASH 347 E. TRIPP ROAD SUNNYVALE, TEXAS 75182

STATE OF TEXAS COUNTY OF BEKAR BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED, GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS 20th DAY OF FEBRUARY, A.D. 2016.

STATE OF TEXAS COUNTY OF BEKAR 103446 I HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT TO THE MATTERS OF STREETS, LOTS, AND DRAINAGE LAYOUT, TO THE BEST OF MY KNOWLEDGE, THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE, EXCEPT FOR THOSE VARIANCES GRANTED BY THE SAN ANTONIO PLANNING COMMISSION.

LICENSED PROFESSIONAL ENGINEER NO. 103446 KNOW ALL MEN BY THESE PRESENTS: THAT I, KYLE P. CUPLIN, DO HEREBY CERTIFY THAT I HAVE PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION IN ACCORDANCE WITH THE PLATTING RULES AND REGULATIONS OF THE PLANNING AND ZONING COMMISSION OF THE TOWN OF SUNNYVALE.

STATE OF TEXAS COUNTY OF DALLAS BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED, GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS 20th DAY OF FEBRUARY, A.D. 2016.

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PRELIMINARY PLAT FOR USRC SUNNYVALE

ZONING: GENERAL BUSINESS USE: MEDICAL BEING A 3.777 ACRE TRACT OF LAND ESTABLISHING LOT 1, BLOCK 1, OUT OF THE THOMAS D COATS SURVEY, ABSTRACT NO. 331 AS RECORDED IN VOLUME 9968A, PAGE 244 OF THE DEED RECORDS, DALLAS COUNTY, TEXAS.

Klove ENGINEERING Site Development Engineering Services Firm No. 11042 www.kloveengineering.com (210) 485-5683

PAUL E. CASH OWNER 347 E. TRIPP ROAD SUNNYVALE, TX 75182

KLOVE ENGINEERING ENGINEER 22615 US HIGHWAY 281 N. STE 204 SAN ANTONIO, TX 78298 (210) 485-5683

CUPLIN & ASSOCIATES SURVEYOR 1932 WEST RANCHO ROAD 1431 KINGSLAND, TX 78639 (325) 388-3300

Date: Mar 11, 2016, 5:07pm File: K:\Projects\10442\10442.dwg User: kcuplin Plot: 10442.dwg



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- I am in favor of the site plan
- I am in favor of the preliminary plat
- I am opposed to the site plan
- I am opposed to the preliminary plat

Explanation:

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Signature:

*Paul E. Cash*

Printed Name:

PAUL E. CASH

Address:

347 S Tripp Rd.

Date:

3/14/16



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Explanation:

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Signature:

*Robert Wood*

Printed Name:

ROBERT WOOD

Address:

189 MUSTANG DR

Date:

3/14/16



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Explanation:

0016 PROPERTY IS @ 324 South COLLINS  
SUNNYVALE, TX 75182  
(972) 226-3340

Signature:

BILL DOUGLASS / Bill Douglas

Printed Name:

BILL DOUGLASS DOUGLASS DISTRIBUTING

Address:

325 E. FOREST AVE SHERMAN, TX 75090

Date:

3/15/16



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Signature: 

Printed Name: DAVID GOODHART

Address: 416 MUSTANG DR, Sunnyvale, TX

Date: 3/16/16

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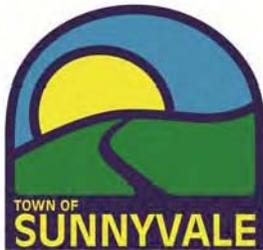
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# Town of Sunnyvale

March 28, 2016

**Prepared By: Rashad Jackson, AICP  
Director of Development Services**

## Summary:

**APPLICANT:** COLIN HELFFRICH, P.E.  
**AT OR ABOUT:** 334 JOBSON ROAD – 48.77 ACRES WEST OF JOBSON ROAD AND  
 EAST OF WANDERING BROOK DRIVE  
**REQUEST:** TENTATIVE DEVELOPMENT PLAN – STONEY CREEK PHASE 2E

## Background & Analysis:

The applicant is requesting a tentative development plan approval for Stoney Creek Phase 2E. The proposed plan for Phase 2E will consist of 72 lots and 3 open space lots on 48.771 acres. The proposed plan shows a total of 72 single family residential lots ranging in size from 16,000 square feet to 32,000 square feet. Open space lots will serve as a landscape buffer along the east, north and south sides of the development. The overall design of phase 2E is consistent with the approved concept plan for the phase except for the following changes. The developer would like to gain approval for the plan and proposed changes prior to moving forward with a future request for preliminary platting.

Key requested variations from original concept plan and ordinance requirements are noted below. The applicant has also provided a memo detailing all proposed changes as well:

- *Variation to the Stoney Creek Boulevard roadway alignment as seen in Ordinance No. 463 Exhibit C Concept Plan. The reason for this variation is to avoid the Water of United States (WOUS) that was determined to be located on this property. The WOUS is located within the called Lot 1X Block A.*
- *Alley requirement shall be waived for lots less than 20,000 square feet.*
- *The minimum lot width for any sized lot shall be 100 feet minimum. Width measurement shall be as set forth in the Town of Sunnyvale's Zoning Ordinance Chapter 2: Definitions.*
- *The minimum setback requirements shall be as set forth:*
  - *Front Yard Setback: 50 feet*
  - *Rear Yard Setback: 30 feet*
  - *Side Yard Setback: 20 feet (Street Side: 30 feet)*
- *Deviation from the typical planting of a Red Tipped Photinia as called out in Ordinance No. 463 Exhibit D Open Space & Trail Plan. Due to the growing environment the Town has requested we provide Chinese Photinia in lieu thereof.*
- *Ordinance No. 463 calls out for a water feature to be within the Stoney Creek Boulevard median. After discussions with the Town, it is in our opinion the water feature called out in Ord. No. 463 was within the Waters of the US (WOUS) area. Due to the Corp restrictions we are avoiding the WOUS with a slight variation to the Stoney Creek Blvd alignment. In doing this the water feature now is located along side Stoney Creek Blvd in lieu of within the median.*

Town staff has evaluated the proposed development against the Zoning Ordinance, Subdivision Ordinance, and Engineering Design Standards as well as the more specific requirements for a PRO contained within Ordinance No. 463.

### Density and Lot Count Requirements

The property is zoned SF-3 PRO, Single Family Residential 3 Planned Residential Overlay. Ordinance No. 463 provides further regulations for how Tract 2 of Stoney Creek is to develop. The total number of dwelling units provided within Tract 2 shall not exceed 472. To date, Tract 2 has a total of 318 lots. The overall maximum density per gross usable acre shall not exceed 1.43 dwelling units per acre. The proposed plan notes the following:

<b>TRACT 2 ZONING REQUIREMENTS</b>					
<b>ZONING REQUIREMENTS</b>			<b>CURRENT DEVELOPMENT</b>		
MAXIMUM NUMBER OF UNITS:	472		CURRENT TOTAL NUMBER OF UNITS:	472	
MAXIMUM ACRES:	-		TOTAL ACRES:	330.388	
MAXIMUM DENSITY:	1.43	UNITS/ACRE	DENSITY:	1.43	UNITS/ACRE
<b>ZONING LOT SIZE REQUIREMENTS</b>			<b>CURRENT RESIDENTIAL LOT SIZE</b>		
15,000-17,999	182	UNITS	15,000-17,999	148	UNITS
18,000-23,999	213	UNITS	18,000-23,999	274	UNITS
>24,000	77	UNITS	>24,000	50	UNITS
<b>PHASE 2A</b>			<b>PHASE 2E</b>		
15,000-17,999	43	UNITS	15,000-17,999	46	UNITS
18,000-23,999	32	UNITS	18,000-23,999	24	UNITS
>24,000	9	UNITS	>24,000	2	UNITS
<b>PHASE 2B</b>			<b>PHASE 2F</b>		
15,000-17,999	2	UNITS	15,000-17,999	0	UNITS
18,000-23,999	63	UNITS	18,000-23,999	63	UNITS
>24,000	9	UNITS	>24,000	19	UNITS
<b>PHASE 2C</b>			<b>PHASE 2G</b>		
15,000-17,999	45	UNITS	15,000-17,999	0	UNITS
18,000-23,999	33	UNITS	18,000-23,999	43	UNITS
>24,000	1	UNITS	>24,000	4	UNITS
<b>PHASE 2D</b>					
15,000-17,999	12	UNITS			
18,000-23,999	16	UNITS			
>24,000	6	UNITS			

### Setbacks and Lot Size

As per the zoning requirements and the PRO standards, lots within Tract 2 of the Stoney Creek development are required to be a mix of sizes, which include:

<b>Number of Units</b>	<b>Lot Size</b>
182	Greater than or = to 15,000 – 17,999 square feet
213	Greater than or = to 18,000 – 23,999 square feet
77	Greater than or equal to 24,000 square feet

As shown above, the tentative development plan for Phase 2E proposes the following lot sizes.

<b>Number of Units</b>	<b>Lot Size</b>
46	15,000 – 17,999 square feet
24	18,000 – 23,999 square feet
2	Greater than or equal to 24,000 square feet

Lot width, lot depth, and setbacks are determined based upon the size of the lot provided. Under base zoning district requirements, setbacks and lot width requirements for lots within these size ranges are as follows:

Lot Size	Width	Front Setback	Side Setback	Rear Setback
14,000 to 19,999	100	50	20	30
20,000 to 34,999	120	60	20	40

The proposed plan calls for the following typical lot setbacks. The proposed setbacks are consistent with previous phases of Stoney Creek and the Stoney Creek PRO regulations.

Lot Size	Width	Front Setback	Side Setback	Rear Setback
14,000 to 19,999	100	50	20 (30 if corner lot)	30
20,000 to 34,999	100	50	20 (30 if corner lot)	30

#### Landscaped Buffer Areas and Open Space

If the tentative development plan is approved, a landscape plan/tree survey will be required with the submittal of the preliminary plat for the phase. The current plan shows a perimeter buffer along the east, north and south side of the phase. The plan would appear to be consistent with the approved open space/landscape plan for Stoney Creek. Final details of the proposed landscaping will be reviewed at the preliminary plat submittal stage.

Perimeter buffering is required for Tract 2 of the Stoney Creek development. The minimum buffer area is twenty-five (25) feet in width. The proposed development meets the twenty-five foot minimum requirement. Tract 2 also requires that 45.64 acres of open space be provided. Once complete, approximately 50 acres of open space will have been provided for within Tract 2 based on the open space plan.

#### Access and Infrastructure

Direct access will be provided to Phase 2E from Jobson Road and Stoney Creek Blvd. A two lane extension of Stoney Creek Blvd will be constructed as part of this phase. The extension will connect Stoney Creek Blvd to Jobson Road. The original concept plan called for a large median at the Jobson Road connection of Stoney Creek Blvd. The Stoney Creek ordinance notes that a water feature shall be developed within "*the median of the proposed Stoney Creek Blvd extensions, as depicted on the Concept Plan.*" Although this is noted in the ordinance, staff was unable to find any language or landscape drawings portraying the intentions for the water feature or the specific location of the water feature.

As noted above, the original alignment for the proposed Stoney Creek Blvd connection to Jobson Road was designed to allow for a large median. Upon review, the applicant found that the proposed alignment would go through a restricted area designated by the Army Corp. of Engineers as the Waters of the U.S. In order to avoid the restricted area, the applicant will remove the large median and realign the roadway extension to the south.

A subdivision entry monument similar to those constructed at Stoney Creek Blvd and Collins Road is proposed at the Stoney Creek Blvd and Jobson Road connection. Existing roadways from Phase 2B will be extended and continued as part of phase 2E (Ash Brook Lane, Sandy Creek Drive & Marble Creek Court)

With the proposed removal of all alleys, each home will be accessed from the front. Garage orientation and access must adhere to Section 20.7 of the zoning ordinance.

### Section 20.7

- *Garage orientation shall be side or rear facing; if an alley exists the property shall be accessed from the alley.*
- *A garage may face the front of the lot if setback a minimum of 25 feet from the front building line and is screened by the presence of a porte cochere.*
- *Detached garages may face the front of the lot if setback from the rear line of the dwelling by a minimum 25 feet and no alley exists.*

### Trail Development

Ordinance No. 463 stipulates, “An Americans with Disabilities Act compliant above-grade crossing shall be constructed over Collins Road within a portion of Nance Road (if abandoned by the Town Council) or in such other suitable location as selected by the Town Council in order to connect the pedestrian and bicycle trails and to provide safe access to the Nature Center, continuation of the trail to Tract 4, and the public school. The design of the above-grade crossing shall be in accordance with Exhibit G-1.” The proposed trail crossing will tie Tract 2 to Tract 4. The crossing would tie into the existing trail at the Tract 2 amenity center.

The developer plans to work with Town staff to determine how to move forward with this requirement. A decision on how to proceed will need to be made prior to the construction of the last phase of Tract 2 (Phase 2E & Phase 2F)

### **Public Notice**

Public notice was provided to the Town’s Official Newspaper for publication on March 2<sup>nd</sup>, 2016. Letters were also sent to property owners’ within 400’ on March 10<sup>th</sup>, 2016. The total number of letters sent was thirty-three (33). As of the release of the staff memo, two (2) responses in favor and one (1) response against had been received.

### **Fiscal Impact**

At the final plat stage, ordinance No. 463 requires that the developer contribute \$1,100 per lot for traffic mitigation fees. This would equate to \$79,200. These fees are to be set aside for two (2) designated roadway projects: Collins Rd (from Town East to Tripp Rd) and Tripp Rd/Collins Rd intersection improvements. To date, \$418,800 (not including +\$79,200 for phase 2E) have been contributed to the fund.

### **Planning & Zoning Commission Recommendation – 3/21/16**

Chairman Demko called for a motion. Commissioner Moss made a motion to approve the request as submitted. Commissioner Sandler seconded. Chairman Demko called for a vote, the motion passed unanimously.

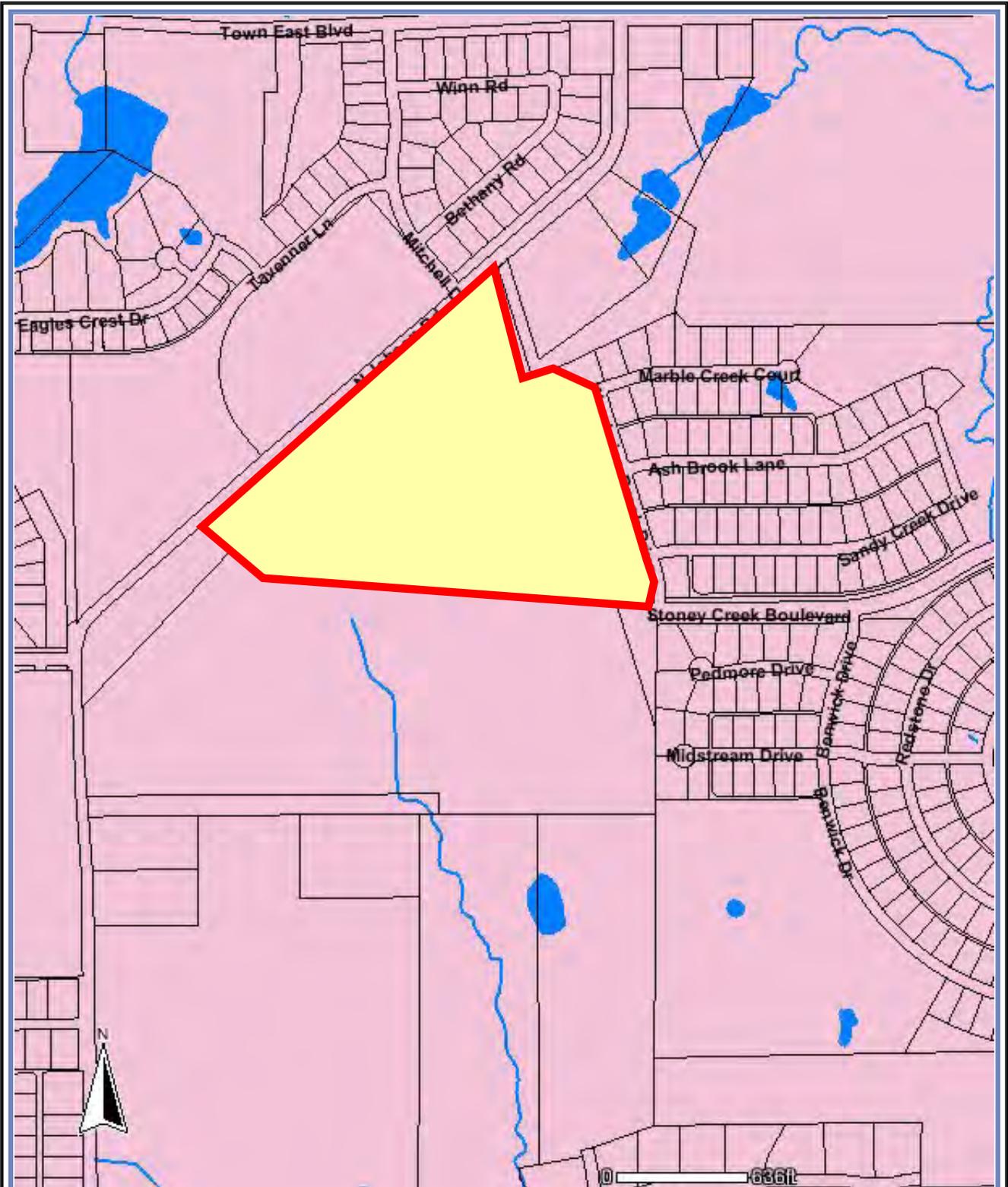
### **Staff Recommendation**

Town staff has the following comments/recommendations for consideration:

1. Staff recommends approval. All department comments must be satisfactorily addressed prior to any development.
2. HOA documents will be required for the proposed development at the final plat approval.
3. The applicant will be subject to the payment of traffic mitigation fees in accordance with Ordinance No. 463 at \$1,100 per lot to be paid at final plat approval.

**Attachments**

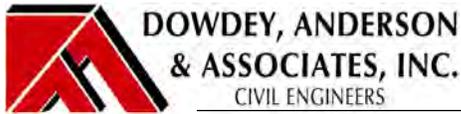
- Location Map
- Variation Memo
- Tentative Development Plan: Stoney Creek Phase 2E
- Tentative Development Plan: Stoney Creek Phase 2E – Open Space
- Approved Concept Plan Stoney Creek – Forestar Developers
- Ordinance No. 463 – Exhibit G-1 – above grade crossing
- 400' notice response letters



Dallas Central  
Appraisal District  
www.dallascad.org

**DISCLAIMER**

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.



5225 Village Creek Drive  
 Suite 200  
 Plano, Texas 75093  
 972-931-0694  
 972-931-9538 Fax

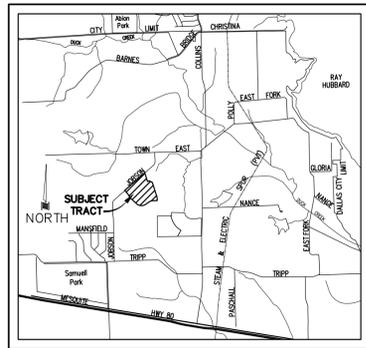
**MEMO FOR RECORD**  
**STONEY CREEK PHASE 2E (DAA JOB NO. 12014-2E)**  
**March 14, 2016**

**TO:** Town of Sunnyvale  
**CC:** Forestar Development  
**FROM:** Dowdey, Anderson & Associates, Inc.  
**RE:** Stoney Creek Phase 2E  
 Sunnyvale, Texas

Below is a list of proposed variations and deviations from the Town of Sunnyvale's Ordinance No. 463 and the Town of Sunnyvale's Zoning/Subdivision Ordinance.

- Variation to the Stoney Creek Boulevard roadway alignment as seen in Ordinance No. 463 Exhibit C Concept Plan. The reason for this variation is to avoid the Water of United States (WOUS) that was determined to be located on this property. The WOUS is located within the called Lot 1X Block A.
- Alley requirement shall be waived for lots less than 20,000 square feet.
- The minimum lot width for any sized lot shall be 100 feet minimum. Width measurement shall be as set forth in the Town of Sunnyvale's Zoning Ordinance Chapter 2: Definitions.
- The minimum setback requirements shall be as set forth:
  - Front Yard Setback: 50 feet
  - Rear Yard Setback: 30 feet
  - Side Yard Setback: 20 feet (Street Side: 30 feet)
- Deviation from the typical planting of a Red Tipped Photinia as called out in Ordinance No. 463 Exhibit D Open Space & Trail Plan. Due to the growing environment the Town has requested we provide Chinese Photinia in lieu thereof.
- Ordinance No. 463 calls out for a water feature to be within the Stoney Creek Boulevard median. After discussions with the Town, it is in our opinion the water feature called out in Ord. No. 463 was the WOUS area. Due to the Corp restrictions we are avoiding the WOUS with a slight variation to the Stoney Creek Blvd alignment. In doing this the water feature now is located along side Stoney Creek Blvd in lieu of within the median.
- No variations are requested of the Open Space and Landscape Buffers. To keep the consistency of previously approved plats, the Open Space and Landscape Buffer terms and calculations will be as shown on the Tract 2 Open Space Exhibit. It shall be noted this exhibit was previously approved at the time of Stoney Creek Phase 2G Preliminary Plat approval.

VICINITY MAP



LOCATION MAP NOT TO SCALE



**ROADWAY CURVE TABLE**

CURVE	DELTA	RADIUS	TANGENT	LENGTH	CHORD
C1	89°32'18"	47.50'	47.12'	74.23'	S04°09'21"W 66.90'
C2	80°19'43"	47.50'	40.09'	66.59'	S08°45'39"W 61.27'
C3	211°7'40"	300.00'	56.40'	111.50'	S20°45'23"E 110.86'
C4	102°28'45"	47.50'	59.16'	84.96'	S61°20'55"E 74.08'
C5	26°21'02"	300.00'	70.23'	137.97'	N54°14'11"E 136.76'
C6	43°59'39"	1183.50'	478.09'	908.74'	N63°02'29"E 886.58'
C7	12°23'53"	300.00'	32.59'	64.92'	N78°50'22"E 64.79'
C8	7°38'22"	796.00'	53.14'	106.13'	S35°13'23"E 106.05'
C9	8°56'00"	250.00'	19.53'	38.98'	N85°08'37"E 38.94'
C10	43°52'09"	806.50'	324.78'	617.50'	N67°40'32"E 602.53'
C11	41°45'17"	250.00'	95.35'	182.19'	N66°37'07"E 178.18'
C12	83°28'47"	47.50'	42.38'	69.21'	N45°45'21"E 63.25'

**LOT CURVE TABLE**

CURVE	DELTA	RADIUS	TANGENT	LENGTH	CHORD
C13	89°32'18"	20.00'	19.84'	31.25'	N4°09'21"E 28.17'
C14	89°32'18"	25.00'	24.80'	39.07'	N4°09'21"E 35.21'
C15	80°19'43"	25.00'	21.10'	35.05'	S8°45'39"W 32.25'
C16	176°37'48"	55.00'	1869.58'	169.55'	S59°01'25"E 109.95'
C17	164°34'54"	55.00'	406.30'	157.99'	S46°54'23"W 109.01'
C18	270°00'00"	55.00'	55.00'	259.18'	S27°39'16"W 77.78'

**ROADWAY LINE TABLE**

LINE	BEARING	DISTANCE
T1	S10°06'33"E	41.64'
T2	N72°38'26"E	90.13'
T3	N17°20'44"W	27.50'

**LOT LINE TABLE**

LINE	BEARING	LENGTH
T4	N85°50'39"W	14.09'
T5	N4°09'21"E	14.20'
T6	S6°02'22"W	14.65'
T7	S83°48'34"E	13.57'
T8	S8°45'39"W	15.28'
T9	S59°16'34"E	13.08'
T10	S10°00'45"W	15.00'
T11	S78°26'36"E	13.63'

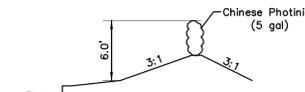
**LOT LINE TABLE**

LINE	BEARING	LENGTH
T12	N27°41'07"E	14.15'
T13	S62°21'09"E	14.14'
T14	N32°48'22"E	12.81'
T15	S58°13'00"E	15.12'
T16	N47°04'30"E	14.61'
T17	S41°30'32"E	14.01'
T18	N53°11'50"E	13.07'

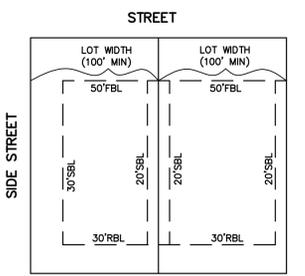
- NOTES:
- ALLEY REQUIREMENT SHALL BE WAIVED FOR LOTS LESS THAN 20,000 SQUARE FEET.
  - THE MINIMUM LOT WIDTH FOR ANY SIZED LOT SHALL BE 100 FEET. LOT WIDTH MEASUREMENT SHALL BE AS SET FORTH IN THE TOWN OF SUNNYVALE'S ZONING ORDINANCE CHAPTER 2, DEFINITIONS.
  - MINIMUM SETBACK REQUIREMENTS FOR ALL LOTS SHALL BE AS SET FORTH:
    - FRONT YARD SETBACK: 50 FEET
    - REAR YARD SETBACK: 30 FEET
    - SIDE YARD SETBACK: 20 FEET
    - STREET SIDE: 30 FEET
  - LANDSCAPE BUFFERS SHALL BE DEVELOPED IN ACCORDANCE WITH THE TOWN OF SUNNYVALE'S ZONING ORDINANCE NO. 463: EXHIBIT D.

**TRACT 2 ZONING REQUIREMENTS**

ZONING REQUIREMENTS	CURRENT DEVELOPMENT
MAXIMUM NUMBER OF UNITS: 477	CURRENT TOTAL NUMBER OF UNITS: 477
MAXIMUM ACRES: -	TOTAL ACRES: 330.388
MAXIMUM DENSITY: 1.43 UNITS/ACRE	DENSITY: 1.43 UNITS/ACRE
<b>ZONING LOT SIZE REQUIREMENTS</b>	
15,000-17,999	182 UNITS
18,000-23,999	213 UNITS
>24,000	77 UNITS
<b>CURRENT RESIDENTIAL LOT SIZE</b>	
15,000-17,999	148 UNITS
18,000-23,999	274 UNITS
>24,000	50 UNITS
<b>PHASE 2A</b>	
15,000-17,999	43 UNITS
18,000-23,999	32 UNITS
>24,000	9 UNITS
<b>PHASE 2B</b>	
15,000-17,999	2 UNITS
18,000-23,999	63 UNITS
>24,000	9 UNITS
<b>PHASE 2C</b>	
15,000-17,999	45 UNITS
18,000-23,999	33 UNITS
>24,000	1 UNITS
<b>PHASE 2D</b>	
15,000-17,999	12 UNITS
18,000-23,999	16 UNITS
>24,000	6 UNITS



TYPICAL LANDSCAPE BUFFER DETAIL (PER ORD. NO. 463 EXHIBIT D)



TYPICAL LOT SETBACK DETAIL

**TENTATIVE DEVELOPMENT PLAN STONEY CREEK PHASE 2E**  
 LOTS 1-31, BLOCK A, LOTS 1-10, BLOCK B  
 LOTS 1-22, BLOCK C, LOTS 1-9, BLOCK D  
 ZONED PRO "SF-3"  
 72 SINGLE-FAMILY RESIDENCE &  
 3 OPEN SPACE LOTS  
 48,771 ACRES

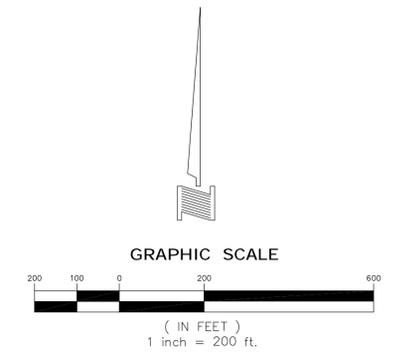
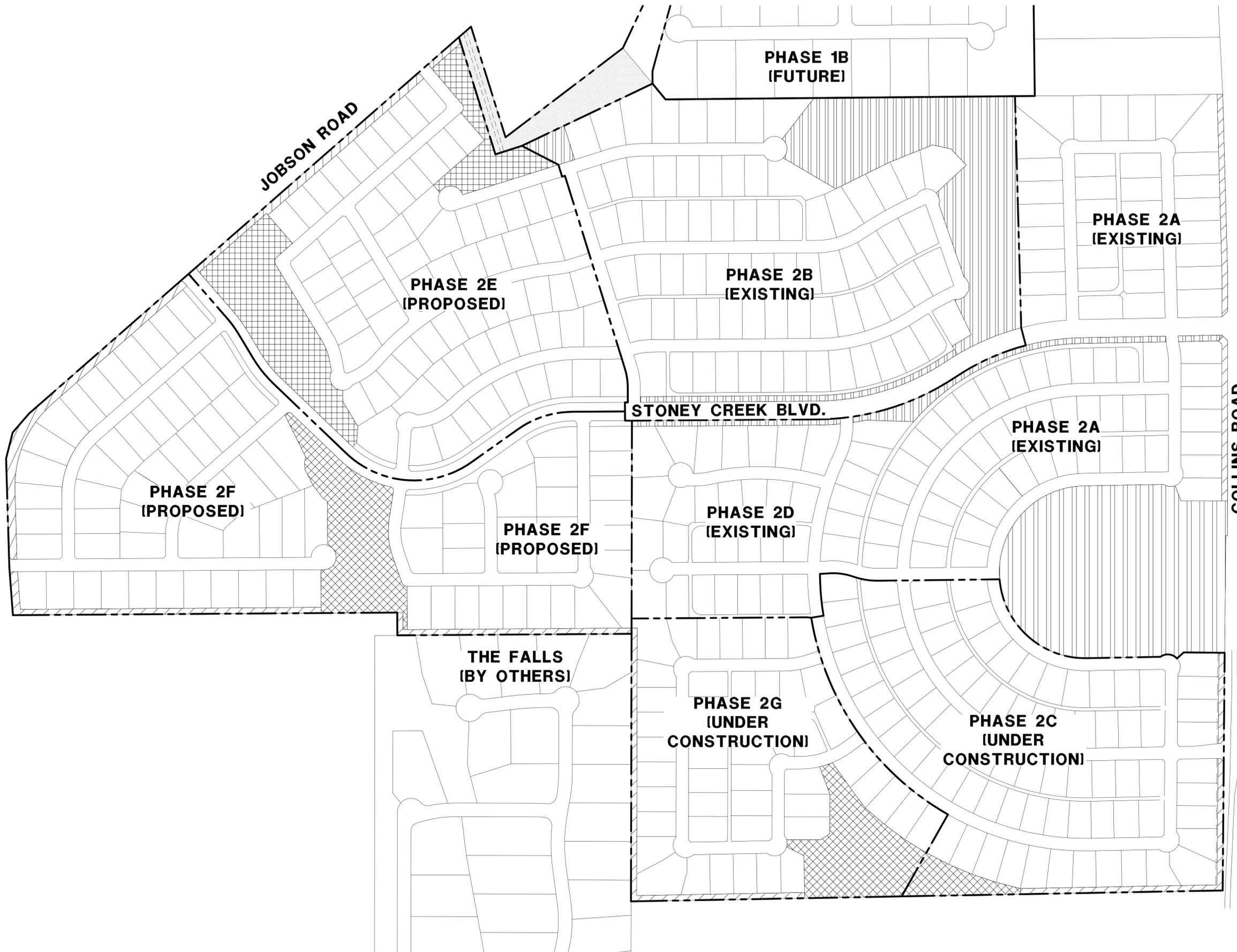
NATHAN ATTERBURY SURVEY, ABSTRACT NO. 38  
 AND WILLIAM REED SURVEY, ABSTRACT NO. 1194  
 TOWN OF SUNNYVALE, DALLAS COUNTY, TEXAS

DECEMBER 2015 SCALE: 1" = 100'  
 OWNER  
**STONEY CREEK PROPERTIES, L.L.C.**  
 14755 PRESTON ROAD ~ SUITE 130  
 DALLAS, TEXAS 75254  
 CONTACT: DARREL AMEN ~ 972-702-8699  
 ENGINEER

**DOWDEY, ANDERSON & ASSOCIATES, INC.**  
 5225 Village Creek Drive, Suite 200 Plano, Texas 75093 972-931-0694  
 STATE REGISTRATION NUMBER: F-399

- LEGEND**
- BTP = BY THIS PLAT
  - BSE = BY SEPARATE INSTRUMENT
  - SWE = SIDEWALK EASEMENT
  - DE = DRAINAGE EASEMENT
  - SSE = SANITARY SEWER EASEMENT
  - UE = UTILITY EASEMENT
  - TUE = TRANSFORMER & UTILITY EASEMENT
  - HOA = HOME OWNERS ASSOCIATION
  - BL = BUILDING LINE
  - D.R.D.C.T. = DEED RECORDS, DALLAS COUNTY, TEXAS
  - M.R.D.C.T. = MAP RECORDS, DALLAS COUNTY, TEXAS
  - O.P.R.D.C.T. = OFFICIAL PUBLIC RECORD, DALLAS COUNTY, TEXAS
  - RC = RED CAP
  - IRF = IRON ROD FOUND
  - <CM> = CONTROLLING MONUMENT
  - ◇ DENOTES STREET NAME CHANGE
  - = 1/2" IRON ROD FOUND W/ YELLOW PLASTIC CAP STAMPED "DAA" (UNLESS OTHERWISE NOTED)
  - = 1/2" IRON ROD SET W/ YELLOW PLASTIC CAP STAMPED "DAA" (UNLESS OTHERWISE NOTED)

REVISED:



TRACT 2

OPEN SPACE REQUIREMENT	=	45.64 ACRES
OPEN SPACE PROVIDED	=	50.99 ACRES
LANDSCAPE BUFFER REQUIREMENT	=	6.35 ACRES
LANDSCAPE BUFFER PROVIDED	=	7.09 ACRES

- 1. PREVIOUSLY PLATTED AS OPEN SPACE, LANDSCAPE, DRAINAGE AND UTILITY EASEMENTS.  
 2. AREAS COUNTED IN OPEN SPACE CALCULATIONS ONLY.
- 1. AREAS TO BE PLATTED AS OPEN SPACE, LANDSCAPE, DRAINAGE AND UTILITY EASEMENTS.  
 2. AREAS COUNTED IN OPEN SPACE CALCULATIONS ONLY.
- 1. AREAS PREVIOUSLY PLATTED AND TO BE PLATTED AS OPEN SPACE, LANDSCAPE, DRAINAGE AND UTILITY EASEMENTS.  
 2. AREAS COUNTED IN LANDSCAPE BUFFER CALCULATIONS ONLY.
- 1. AREA PREVIOUSLY PLATTED AS A NON-BUILDABLE LOT SATISFYING STONEY CREEKS OBLIGATIONS FOR OPEN SPACE AND LANDSCAPE BUFFERS ALONG THE COMMON PROPERTY LINES. THIS AREA IS BEING SOLD TO THE CROWNOVER FAMILY.  
 2. AREA COUNTED IN OPEN SPACE CALCULATIONS AS ORIGINALLY CALLED OUT BY P.D. 463 EXHIBIT D.

**TRACT 2 OPEN SPACE**  
**STONEY CREEK**

TOWN OF SUNNYVALE  
DALLAS COUNTY, TEXAS

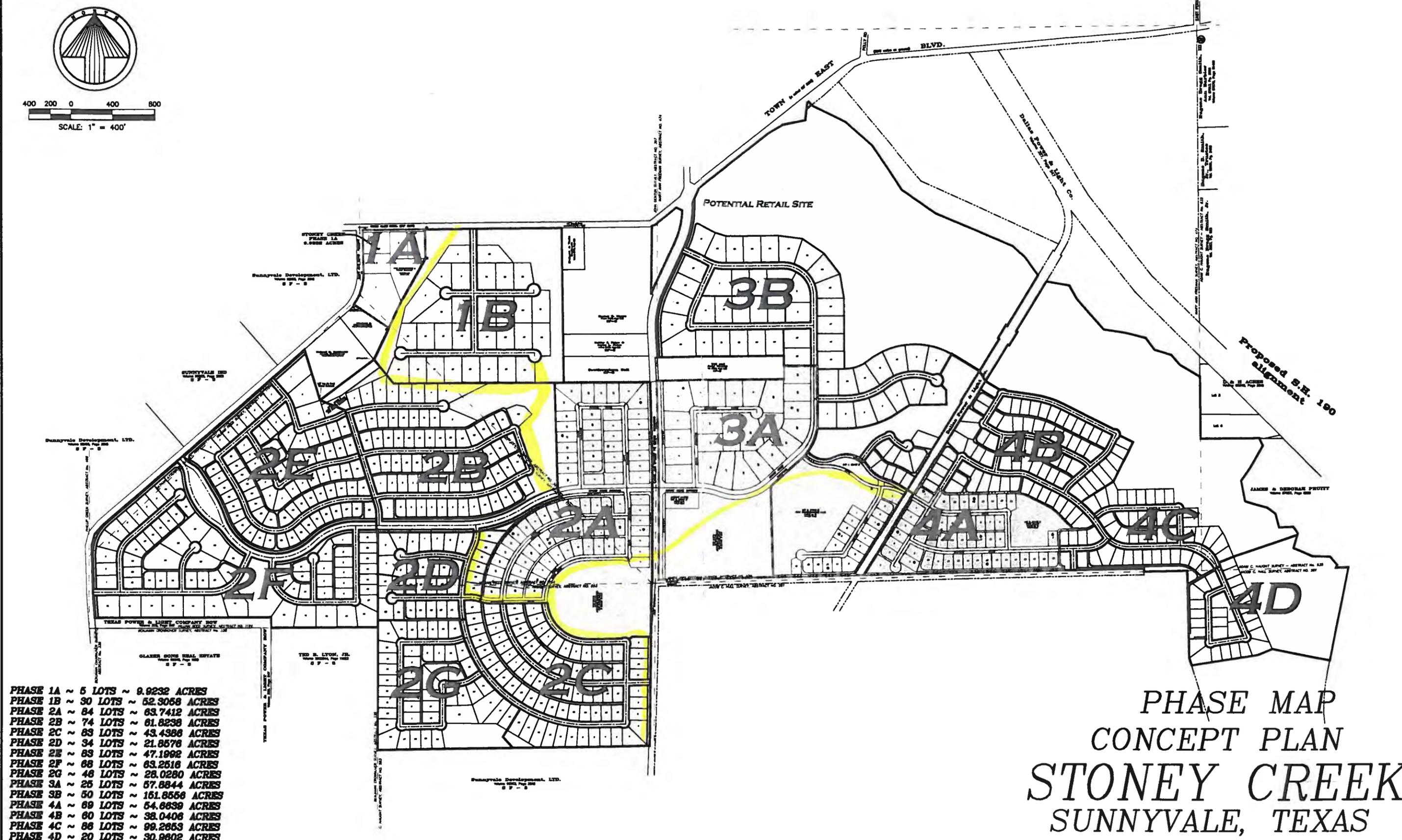
**DOWDEY, ANDERSON & ASSOCIATES, INC.**  
5225 Village Creek Drive, Suite 200 Plano, Texas 75093 972-931-0694  
STATE REGISTRATION NUMBER: F-399  
SURVEY FIRM REGISTRATION NUMBER: 10077800

DESIGN	DRAWN	CHECKED	DATE	SCALE	JOB	SHEET
-	-	-	03/14/16	1"=200'	12014	1

NO.	DATE	BY	REVISION



400 200 0 400 800  
 SCALE: 1" = 400'



PHASE 1A	~ 6 LOTS	~ 0.9232 ACRES
PHASE 1B	~ 30 LOTS	~ 52.3058 ACRES
PHASE 2A	~ 84 LOTS	~ 63.7412 ACRES
PHASE 2B	~ 74 LOTS	~ 61.8238 ACRES
PHASE 2C	~ 83 LOTS	~ 43.4388 ACRES
PHASE 2D	~ 34 LOTS	~ 21.8578 ACRES
PHASE 2E	~ 83 LOTS	~ 47.1892 ACRES
PHASE 2F	~ 68 LOTS	~ 63.2516 ACRES
PHASE 2G	~ 48 LOTS	~ 28.0280 ACRES
PHASE 3A	~ 25 LOTS	~ 57.8844 ACRES
PHASE 3B	~ 50 LOTS	~ 151.8558 ACRES
PHASE 4A	~ 69 LOTS	~ 54.8839 ACRES
PHASE 4B	~ 60 LOTS	~ 38.0408 ACRES
PHASE 4C	~ 88 LOTS	~ 99.2653 ACRES
PHASE 4D	~ 20 LOTS	~ 30.9802 ACRES

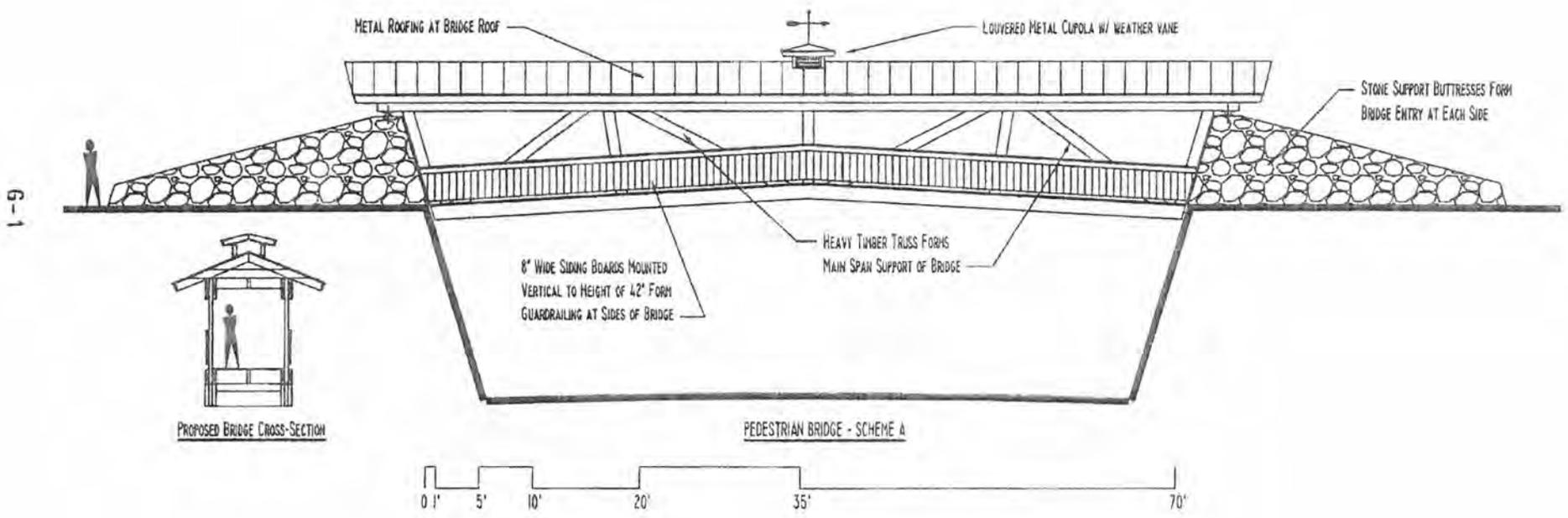
PHASE MAP  
 CONCEPT PLAN  
**STONEY CREEK**  
 SUNNYVALE, TEXAS

~ OWNER ~  
**FORESTAR REAL ESTATE GROUP**  
 14785 Preston Road ~ Suite 850 ~ Dallas, Texas 75254

**TIPTON ENGINEERING, INC.**  
 ENGINEERING • SURVEYING • PLANNING  
 5330 Broadway Blvd. • Suite C • Garland, Texas 75043 • (972) 228-2887

EXISTING DEVELOPED PHASES

**ORDINANCE NO. 463**  
**EXHIBIT G-1**





**Notice of Application for  
Tentative Development Plan  
Town of Sunnyvale  
Planning & Zoning Commission**

The Town of Sunnyvale has received a request from Colin Helffrich, P.E. for a tentative development plan approval of Stoney Creek Phase 2E. The request will allow for the review of an additional proposed phase of Stoney Creek subdivision. The location of the property is shown on the attached exhibit.

The Planning and Zoning Commission will review this application on Monday, March 21, 2016 and the Town Council will consider the application on either Monday, March 28, 2016 or Monday, April 11, 2016. The hearings will be conducted in open session at Town Hall, 127 Collins Road at 7:00 P.M. If you have comments on this application, you may present them in person at these meetings or may submit written comments at any time on or before date of the hearings.

The tentative development plan application and supporting documents are on file at Town Hall and may be examined at no charge. For further information contact Rashad Jackson, Director of Development Services at (972) 203-4103 or [rashad.jackson@townofsunnyvale.org](mailto:rashad.jackson@townofsunnyvale.org) .

I am in favor of the tentative development plan

I am opposed to the tentative development plan

Explanation:

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---

---

Signature:

*T.C. Lupton*

Printed Name:

Address:

Date:

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**Notice of Application for  
Tentative Development Plan  
Town of Sunnyvale  
Planning & Zoning Commission**

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I am in favor of the tentative development plan

I am opposed to the tentative development plan

Explanation:

*need <sup>more</sup> quality development*

Signature:

*Christopher Jackson*

Printed Name:

*Christopher Jackson*

Address:

*600 N. Pearl, Suite 650, Dallas, TX 75201*

Date:

*3/15/16*

**STONEY CREEK 2E NOTICE RESPONSE LETTER****Rashad Jackson**

---

**From:** Doug Crownover [dcrownover@idplates.com]  
**Sent:** Monday, March 21, 2016 4:15 PM  
**To:** Rashad Jackson  
**Subject:** RE Stony Creek phase 2E

Mr. Jackson,

Thank you for returning my call earlier. I hope to meet you at the P and Z meeting tonight. We live at 350 Jobson Road on 10 acres with the Stony Creek development on 3 sides of our property. Below is a brief synopsis of my position:

Points of concern:

1. There is no one on Jobson Road or in the surrounding neighborhoods that is as likely to be adversely affectedly this development as we are. Our financial investment in our property is already being compromised. Those of us with estate type lots and acreage risk a decline in resale value because of the zoning changes and specifically in our case, on three sides of our property. We currently maintain and utilize an agricultural exemption on our property.
2. In the past three to four years, development has exacted a real cost to our peaceful way of life in this community. As Stony Creek was being developed to the south, the interaction with developers and builders has been a constant challenge. When the expansion of Homestead began, similar problems continued. The difficulties have encompassed everything from violations on start and stop hours for construction to a never ending issue with trespass ,blowing trash, and drainage issues caused by improper grading in the areas adjacent to our property. Trees that belonged on our property were removed in error. Replacement trees that were inadequate in size, quality, and durability were transplanted to our property as a "concession" with the responsibility for watering, during drought and municipal water restrictions, becoming our sole responsibility and expense. None of those trees are alive today. Fences with posts set in concrete were placed inside our property lines. Drainage issues causing water to pool on our land needed correcting with all costs being absorbed by our family. Gates from the new homeowners have been placed opening onto our property. As homeowners, we have been left to fend for ourselves and deal with difficult project managers. We feel largely disrespected , hurt, insulted and financially injured. The constant vigilance required to protect our property is exhausting and unfair.
3. We are asking for a permanent buffer that will create a clear delineation between ourselves and the development. I would hope that a permanent buffer of trees would be planted and maintained between the development and our property.

Sincerely,

Doug Crownover  
Cell 214-535-5556



# Town of Sunnyvale

March 28, 2016

**Prepared By: Rashad Jackson, AICP  
Director of Development Services**

## Summary:

**APPLICANT:** COLIN HELFFRICH, P.E.  
**AT OR ABOUT:** 334 JOBSON ROAD – 61.39 ACRES SOUTH WEST OF THE  
 INTERSECTION OF STONEY CREEK BLVD AND WANDERING BROOK  
 LANE  
**REQUEST:** TENTATIVE DEVELOPMENT PLAN – STONEY CREEK PHASE 2F

## Background & Analysis:

The applicant is requesting a tentative development plan approval for Stoney Creek Phase 2F. The proposed plan for Phase 2F will consist of 82 lots and 4 open space lots on 61.398 acres. The plan shows a total of 82 single family residential lots approximately 20,000 square feet in size. Open space lots will serve as a landscape buffer along the east, north and south sides of the development. The overall design of Phase 2F is consistent with the approved concept plan for the phase except for the following changes. The developer would like to gain approval for the plan and proposed changes prior to moving forward with a future request for platting.

Key requested variations from original concept plan and ordinance requirements are noted below. The applicant has also provided a memo detailing all proposed changes:

- *Variation to the Stoney Creek Boulevard roadway alignment as seen in Ordinance No. 463 Exhibit C Concept Plan. The reason for this variation is to avoid the Water of United States (WOUS) that was determined to be located on this property. The WOUS is located within the called Lot 1X Block A.*
- *The minimum lot width for any sized lot shall be 100 feet minimum. Width measurement shall be as set forth in the Town of Sunnyvale's Zoning Ordinance Chapter 2: Definitions.*
- *Deviation from the typical planting of a Red Tipped Photinia as called out in Ordinance No. 463 Exhibit D Open Space & Trail Plan. Due to the growing environment the Town has requested we provide Chinese Photinia in lieu thereof.*
- *Ordinance No. 463 calls out for a water feature to be within the Stoney Creek Boulevard median. After discussions with the Town, it is in our opinion the water feature called out in Ord. No. 463 was the WOUS area. Due to the Corp restrictions we are avoiding the WOUS with a slight variation to the Stoney Creek Blvd alignment. In doing this the water feature now is located along side Stoney Creek Blvd in lieu of within the median.*

Town staff has evaluated the proposed development against the Zoning Ordinance, Subdivision Ordinance, and Engineering Design Standards as well as the more specific requirements for a PRO contained within Ordinance No. 463.

### Density and Lot Count Requirements

The property is zoned SF-3 PRO, Single Family Residential 3 Planned Residential Overlay. Ordinance No. 463 provides further regulations for how Tract 2 of Stoney Creek is to develop. The total number of dwelling units provided within Tract 2 shall not exceed 472. To date, Tract 2 has a total of 318 lots. The overall maximum density per gross usable acre shall not exceed 1.43 dwelling units per acre. The proposed plan notes the following:

<b>TRACT 2 ZONING REQUIREMENTS</b>					
<b>ZONING REQUIREMENTS</b>			<b>CURRENT DEVELOPMENT</b>		
MAXIMUM NUMBER OF UNITS:	472		CURRENT TOTAL NUMBER OF UNITS:	472	
MAXIMUM ACRES:	-		TOTAL ACRES:	330.388	
MAXIMUM DENSITY:	1.43	UNITS/ACRE	DENSITY:	1.43	UNITS/ACRE
<b>ZONING LOT SIZE REQUIREMENTS</b>			<b>CURRENT RESIDENTIAL LOT SIZE</b>		
15,000-17,999	182	UNITS	15,000-17,999	148	UNITS
18,000-23,999	213	UNITS	18,000-23,999	274	UNITS
>24,000	77	UNITS	>24,000	50	UNITS
<b>PHASE 2A</b>			<b>PHASE 2E</b>		
15,000-17,999	43	UNITS	15,000-17,999	46	UNITS
18,000-23,999	32	UNITS	18,000-23,999	24	UNITS
>24,000	9	UNITS	>24,000	2	UNITS
<b>PHASE 2B</b>			<b>PHASE 2F</b>		
15,000-17,999	2	UNITS	15,000-17,999	0	UNITS
18,000-23,999	63	UNITS	18,000-23,999	63	UNITS
>24,000	9	UNITS	>24,000	19	UNITS
<b>PHASE 2C</b>			<b>PHASE 2G</b>		
15,000-17,999	45	UNITS	15,000-17,999	0	UNITS
18,000-23,999	33	UNITS	18,000-23,999	43	UNITS
>24,000	1	UNITS	>24,000	4	UNITS
<b>PHASE 2D</b>					
15,000-17,999	12	UNITS			
18,000-23,999	16	UNITS			
>24,000	6	UNITS			

### Setbacks and Lot Size

As per the zoning requirements and the PRO standards, lots within Tract 2 of the Stoney Creek development are required to be a mix of sizes, which include:

<b>Number of Units</b>	<b>Lot Size</b>
182	Greater than or = to 15,000 – 17,999 square feet
213	Greater than or = to 18,000 – 23,999 square feet
77	Greater than or equal to 24,000 square feet

As shown above, the tentative development plan for Phase 2F proposes the following lot sizes.

<b>Number of Units</b>	<b>Lot Size</b>
0	15,000 – 17,999 square feet
63	18,000 – 23,999 square feet
19	Greater than or equal to 24,000 square feet

Lot width, lot depth, and setbacks are determined based upon the size of the lot provided. Under base zoning district requirements, setbacks and lot width requirements for lots within these size ranges are as follows:

Lot Size	Width	Front Setback	Side Setback	Rear Setback
14,000 to 19,999	100	50	20	30
20,000 to 34,999	120	60	20	40

The proposed plan calls for the following typical lot setbacks. The proposed setbacks are consistent with previous phases of Stoney Creek and the Stoney Creek PRO regulations.

Lot Size	Width	Front Setback	Side Setback	Rear Setback
14,000 to 19,999	100	50	20 (30 if corner lot)	30
20,000 to 34,999	100	60	20 (30 if corner lot)	30

#### Landscaped Buffer Areas and Open Space

If the tentative development plan is approved, a landscape plan/tree survey will be required with the submittal of the preliminary plat for the phase. The current plan shows a perimeter buffer along the east, north and south side of the phase. The plan would appear to be consistent with the approved open space/landscape plan for Stoney Creek. Final details of the proposed landscaping will be reviewed at the preliminary plat submittal stage.

Perimeter buffering is required for Tract 2 of the Stoney Creek development. The minimum buffer area is twenty-five (25) feet in width. The proposed development meets the twenty-five foot minimum requirement. Tract 2 also requires that 45.64 acres of open space be provided. Once complete, approximately 50 acres of open space will have been provided for within Tract 2 based on the open space plan.

#### Access and Infrastructure

Direct access will be provided to Phase 2F from Jobson Road and Stoney Creek Blvd. A two lane extension of Stoney Creek Blvd will be constructed as part of this phase. The extension will connect Stoney Creek Blvd to Jobson Road. The original concept plan called for a large median at the Jobson Road connection of Stoney Creek Blvd. The Stoney Creek ordinance notes that a water feature shall be developed within “*the median of the proposed Stoney Creek Blvd extensions, as depicted on the Concept Plan.*” Although this is noted in the ordinance, staff was unable to find any language or landscape drawings portraying the intentions for the water feature or the specific location of the water feature.

As noted above, the original alignment for the proposed Stoney Creek Blvd connection to Jobson Road was designed to allow for a large median. Upon review, the applicant found that the proposed alignment would go through a restricted area designated by the Army Corp. of Engineers as the Waters of the U.S. In order to avoid the restricted area, the applicant will remove the large median and realign the roadway extension. A subdivision entry monument similar to those constructed at Stoney Creek Blvd and Collins Road is proposed at the Stoney Creek Blvd and Jobson Road connection.

With the proposed removal of all alleys, each home will be accessed from the front. Garage orientation and access must adhere to Section 20.7 of the zoning ordinance.

#### Section 20.7

- *Garage orientation shall be side or rear facing; if an alley exists the property shall be accessed from the alley.*

- *A garage may face the front of the lot if setback a minimum of 25 feet from the front building line and is screened by the presence of a porte cochere.*
- *Detached garages may face the front of the lot if setback from the rear line of the dwelling by a minimum 25 feet and no alley exists.*

### Trail Development

Ordinance No. 463 stipulates, “an Americans with Disabilities Act compliant above-grade crossing shall be constructed over Collins Road within a portion of Nance Road (if abandoned by the Town Council) or in such other suitable location as selected by the Town Council in order to connect the pedestrian and bicycle trails and to provide safe access to the Nature Center, continuation of the trail to Tract 4, and the public school. The design of the above-grade crossing shall be in accordance with Exhibit G-1.” The proposed trail crossing will tie Tract 2 to Tract 4. The crossing would be developed to tie into the existing trail at the Tract 2 amenity center.

The developer plans to work with Town staff to determine how to move forward with this requirement. A decision on how to proceed will need to be made prior to the construction of the last phase of Tract 2. (Phase 2E & Phase 2F)

### Public Notice

Public notice was provided to the Town’s Official Newspaper for publication on March 2<sup>nd</sup>, 2016. Letters were also sent to property owners’ within 400’ on March 10<sup>th</sup>, 2016. The total number of letters sent was thirty-three (33). As of the release of the staff memo, one (1) response in favor had been received.

### Fiscal Impact

At the final plat stage, ordinance No. 463 requires that the developer contribute \$1,100 per lot for traffic mitigation fees. This would equate to \$90,200. These fees are to be set aside for two (2) designated roadway projects: Collins Rd (from Town East to Tripp Rd) and Tripp Rd/Collins Rd intersection improvements. To date, \$418,800 (not including +\$90,200 for phase 2F) have been contributed to the fund.

### Planning & Zoning Commission Recommendation – 3/21/16

Chairman Demko called for a motion. Commissioner Moss made a motion to approve the request as submitted. Commissioner Okafor seconded. Chairman Demko called for a vote, the motion passed unanimously.

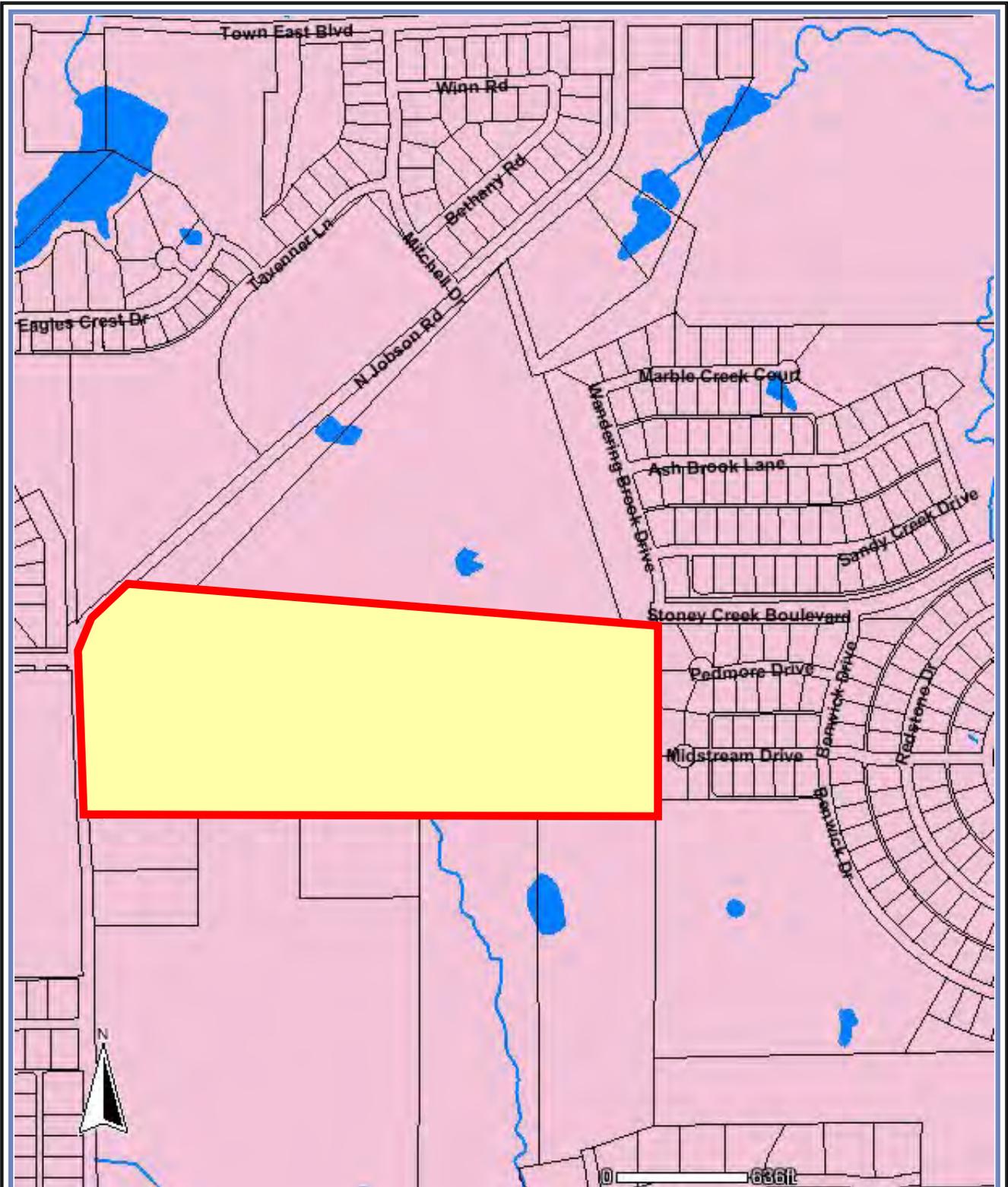
### Staff Recommendation

Town staff has the following comments/recommendations for consideration:

1. Staff recommends approval. All department comments must be satisfactorily addressed prior to any development.
2. HOA documents will be required for the proposed development at the final plat approval.
3. The applicant will be subject to the payment of traffic mitigation fees in accordance with Ordinance No. 463 at \$1,100 per lot to be paid at final plat approval.

### Attachments

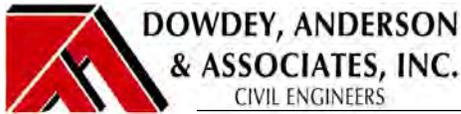
- Location Map
- Variation Memo
- Tentative Development Plan: Stoney Creek Phase 2F
- Tentative Development Plan: Stoney Creek Phase 2F – Open Space
- Approved Concept Plan Stoney Creek – Forestar Developers
- Ordinance No. 463 – Exhibit G-1 – above grade crossing
- 400’ notice response letter



Dallas Central  
Appraisal District  
www.dallascad.org

**DISCLAIMER**

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.



5225 Village Creek Drive  
Suite 200  
Plano, Texas 75093  
972-931-0694  
972-931-9538 Fax

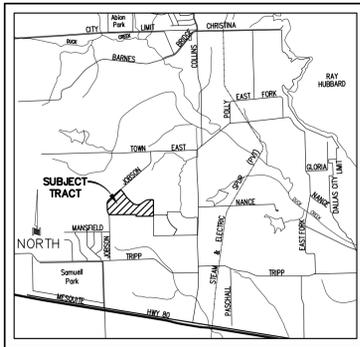
**MEMO FOR RECORD**  
**STONEY CREEK PHASE 2F (DAA JOB NO. 12014-2F)**  
**March 14, 2016**

**TO:** Town of Sunnyvale  
**CC:** Forestar Development  
**FROM:** Dowdey, Anderson & Associates, Inc.  
**RE:** Stoney Creek Phase 2F  
Sunnyvale, Texas

Below is a list of proposed variations and deviations from the Town of Sunnyvale's Ordinance No. 463 and the Town of Sunnyvale's Zoning/Subdivision Ordinance.

- Variation to the Stoney Creek Boulevard roadway alignment as seen in Ordinance No. 463 Exhibit C Concept Plan. The reason for this variation is to avoid the Water of United States (WOUS) that was determined to be located on this property. The WOUS is located within the called Lot 1X Block A.
- The minimum lot width for any sized lot shall be 100 feet minimum. Width measurement shall be as set forth in the Town of Sunnyvale's Zoning Ordinance Chapter 2: Definitions.
- Deviation from the typical planting of a Red Tipped Photinia as called out in Ordinance No. 463 Exhibit D Open Space & Trail Plan. Due to the growing environment the Town has requested we provide Chinese Photinia in lieu thereof.
- Ordinance No. 463 calls out for a water feature to be within the Stoney Creek Boulevard median. After discussions with the Town, it is in our opinion the water feature called out in Ord. No. 463 was the WOUS area. Due to the Corp restrictions we are avoiding the WOUS with a slight variation to the Stoney Creek Blvd alignment. In doing this the water feature now is located along side Stoney Creek Blvd in lieu of within the median.
- No variations are requested of the Open Space and Landscape Buffers. To keep the consistency of previously approved plats, the Open Space and Landscape Buffer terms and calculations will be as shown on the Tract 2 Open Space Exhibit. It shall be noted this exhibit was previously approved at the time of Stoney Creek Phase 2G Preliminary Plat approval.

VICINITY MAP



LOCATION MAP NOT TO SCALE

**LOT CURVE TABLE**

CURVE	DELTA	RADIUS	TANGENT	LENGTH	CHORD
C6	4°39'06"	443.50'	18.01'	36.01'	N33°33'02"W 36.00'
C7	15°08'00"	573.50'	76.18'	151.48'	S38°47'29"E 151.04'
C8	27°00'00"	55.00'	55.00'	259.18'	N45°23'09"W 77.78'
C9	71°06'57"	25.00'	17.87'	31.03'	S54°49'00"E 29.08'
C10	168°48'04"	55.00'	560.99'	162.04'	N44°37'32"E 109.48'
C11	27°49'00"	55.00'	50.56'	263.81'	N67°00'47"W 74.44'

**LOT LINE TABLE**

LINE	BEARING	LENGTH
T3	S86°04'30"E	14.14'
T4	S3°55'30"W	14.14'
T5	S48°55'30"W	15.00'
T6	S83°47'57"E	13.57'
T7	N46°21'29"W	69.22'
T8	S1°17'01"W	13.48'
T9	S88°42'59"E	14.78'
T10	N48°55'30"E	15.11'
T11	N46°02'49"W	14.30'
T12	N42°39'54"E	13.65'
T13	N89°36'51"E	25.01'
T14	S44°36'51"W	14.14'
T15	S45°23'09"E	14.14'
T16	S44°36'51"W	14.14'

**TRACT 2 ZONING REQUIREMENTS**

ZONING REQUIREMENTS	CURRENT DEVELOPMENT
MAXIMUM NUMBER OF UNITS: 472	CURRENT TOTAL NUMBER OF UNITS: 472
MAXIMUM ACRES: 1.43	TOTAL ACRES: 330.388
MAXIMUM DENSITY: 1.43 UNITS/ACRE	DENSITY: 1.43 UNITS/ACRE

ZONING LOT SIZE REQUIREMENTS	CURRENT RESIDENTIAL LOT SIZE
15,000-17,999	182 UNITS
18,000-23,999	213 UNITS
>24,000	77 UNITS

PHASE 2A	PHASE 2E
15,000-17,999: 43 UNITS	15,000-17,999: 45 UNITS
18,000-23,999: 32 UNITS	18,000-23,999: 24 UNITS
>24,000: 5 UNITS	>24,000: 2 UNITS

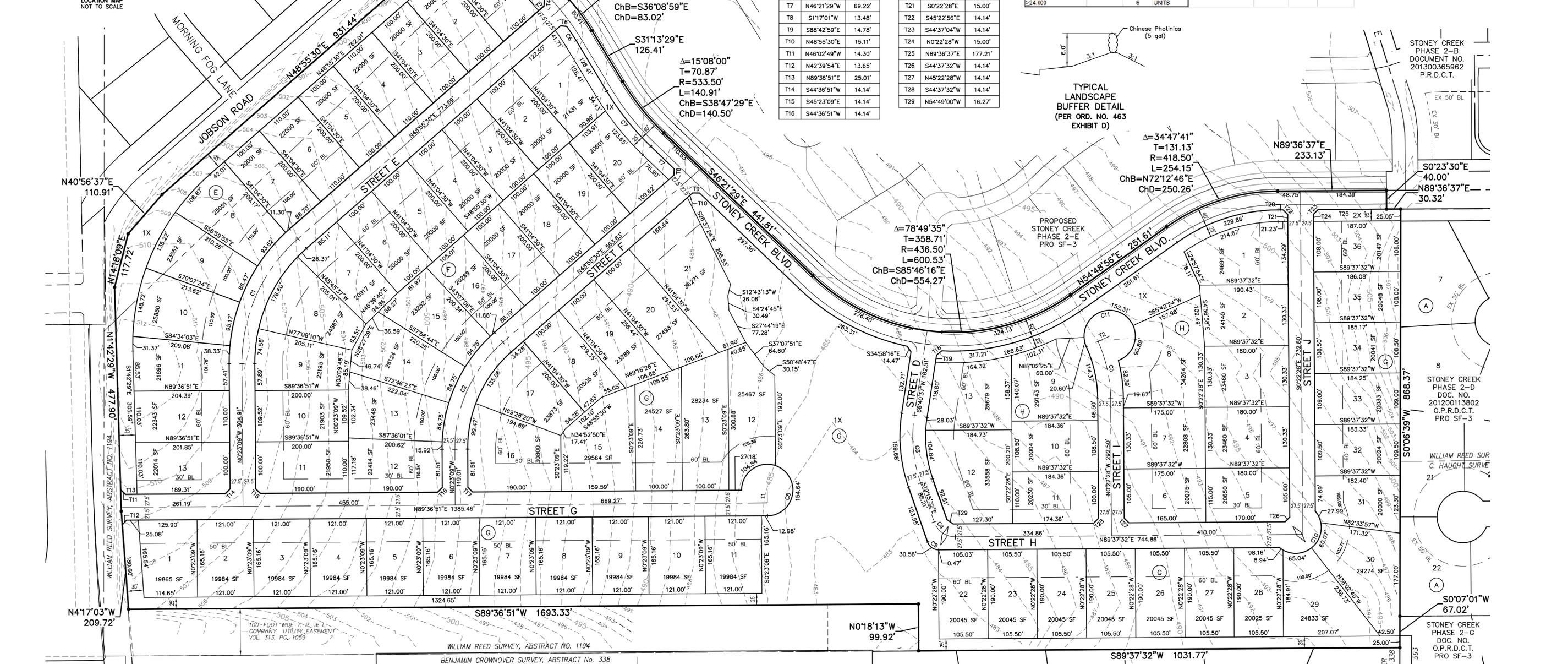
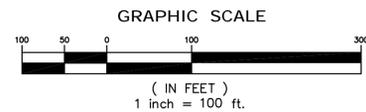
PHASE 2B	PHASE 2F
15,000-17,999: 2 UNITS	15,000-17,999: 0 UNITS
18,000-23,999: 83 UNITS	18,000-23,999: 83 UNITS
>24,000: 9 UNITS	>24,000: 19 UNITS

PHASE 2C	PHASE 2G
15,000-17,999: 45 UNITS	15,000-17,999: 0 UNITS
18,000-23,999: 33 UNITS	18,000-23,999: 43 UNITS
>24,000: 1 UNITS	>24,000: 4 UNITS

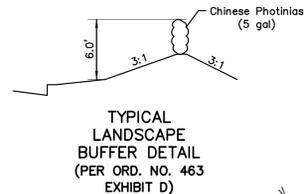
  

PHASE 2D	
15,000-17,999: 12 UNITS	
18,000-23,999: 16 UNITS	
>24,000: 6 UNITS	



**LOT LINE TABLE**

LINE	BEARING	LENGTH
T17	S45°23'09"E	14.14'
T18	N51°07'03"E	14.76'
T19	S8°40'37"W	15.07'
T20	N89°36'37"E	11.24'
T21	S0°22'28"E	15.00'
T22	S45°22'56"E	14.14'
T23	S44°37'04"W	14.14'
T24	N0°22'28"W	15.00'
T25	N89°36'37"E	177.21'
T26	S44°37'32"W	14.14'
T27	N45°22'28"W	14.14'
T28	S44°37'32"W	14.14'
T29	N54°49'00"W	16.27'



**NOTES:**

- THE MINIMUM LOT WIDTH FOR ANY SIZED LOT SHALL BE 100 FEET. LOT WIDTH MEASUREMENT SHALL BE AS SET FORTH IN THE TOWN OF SUNNYVALE'S ZONING ORDINANCE CHAPTER 2-DEFINITIONS.
- MINIMUM SETBACK REQUIREMENTS SHALL BE AS SET FORTH IN THE TOWN OF SUNNYVALE'S ZONING ORDINANCE CHART 3.2: AREA STANDARDS FOR RESIDENTIAL LOTS.
- LANDSCAPE BUFFERS SHALL BE DEVELOPED IN ACCORDANCE WITH THE TOWN OF SUNNYVALE'S ZONING ORDINANCE NO. 463: EXHIBIT D.

**LEGEND**

BTP = BY THIS PLAT  
 BSE = BY SEPARATE INSTRUMENT  
 SWE = SIDEWALK EASEMENT  
 DE = DRAINAGE EASEMENT  
 SSE = SANITARY SEWER EASEMENT  
 UE = UTILITY EASEMENT  
 TUE = TRANSFORMER & UTILITY EASEMENT  
 HOA = HOME OWNERS ASSOCIATION  
 BL = BUILDING LINE  
 D.R.D.C.T. = DEED RECORDS, DALLAS COUNTY, TEXAS  
 M.R.D.C.T. = MAP RECORDS, DALLAS COUNTY, TEXAS  
 O.P.R.D.C.T. = OFFICIAL PUBLIC RECORD, DALLAS COUNTY, TEXAS

RC = RED CAP  
 IRF = IRON ROD FOUND  
 <CM> = CONTROLLING MONUMENT  
 DENOTES STREET NAME CHANGE

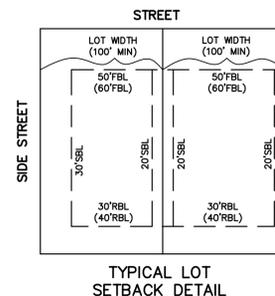
○ = 1/2" IRON ROD FOUND W/ YELLOW PLASTIC CAP STAMPED "DAA" (UNLESS OTHERWISE NOTED)  
 ● = 1/2" IRON ROD SET W/ YELLOW PLASTIC CAP STAMPED "DAA" (UNLESS OTHERWISE NOTED)

**ROADWAY CURVE TABLE**

CURVE	DELTA	RADIUS	TANGENT	LENGTH	CHORD
C1	49°18'39"	350.00'	160.65'	301.22'	N24°16'11"E 292.01'
C2	49°18'39"	300.00'	137.70'	258.19'	N24°16'11"E 250.30'
C3	27°56'09"	300.00'	74.62'	146.27'	S05°17'27"E 144.83'
C4	71°06'57"	47.50'	33.95'	58.96'	S54°49'00"E 55.24'
C5	24°02'49"	300.00'	63.90'	125.91'	N12°23'53"W 124.99'

**ROADWAY LINE TABLE**

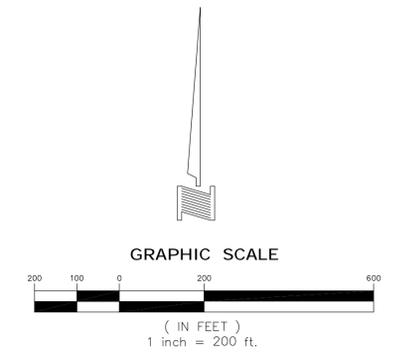
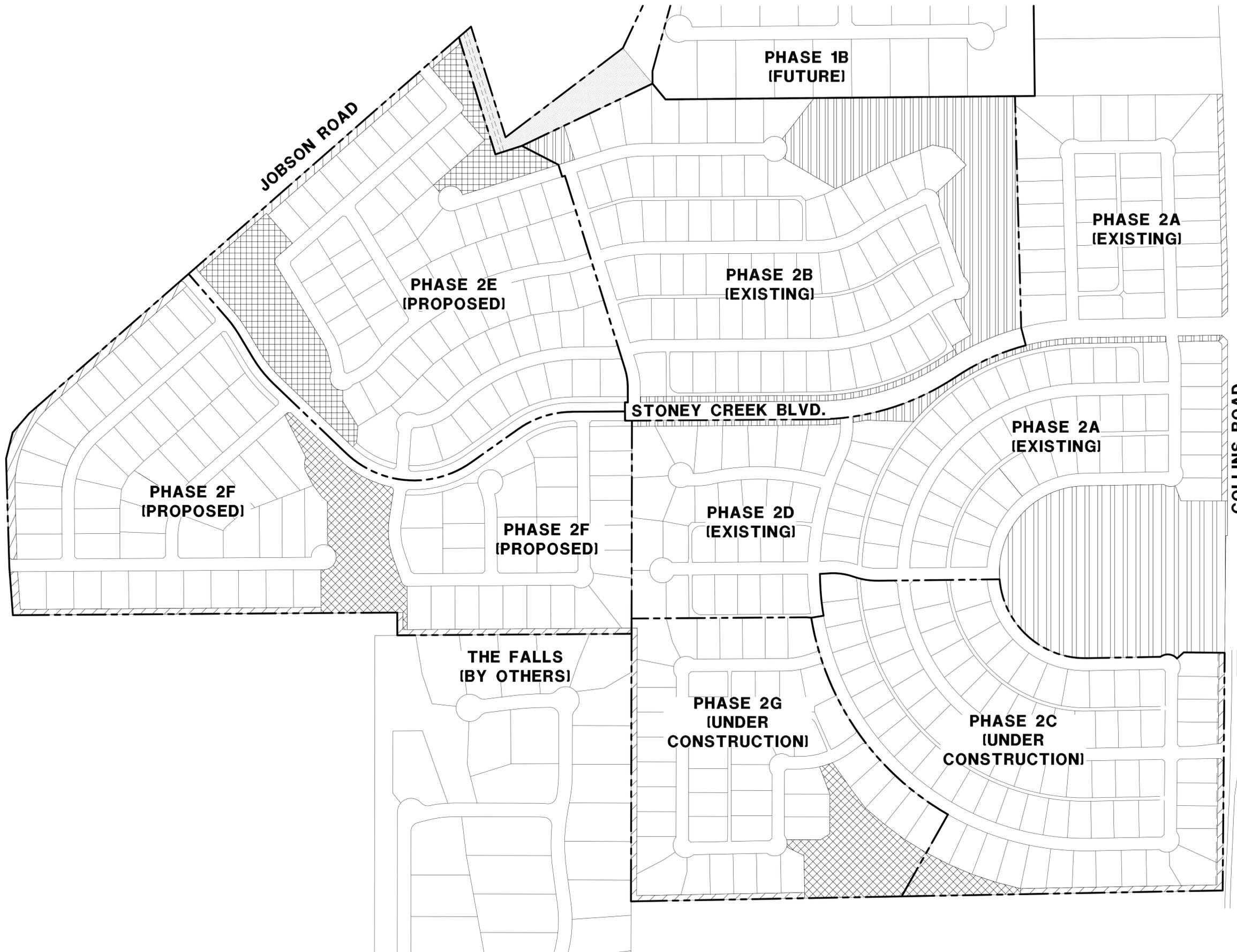
LINE	BEARING	DISTANCE
T1	N00°23'09"W	27.50'
T2	N65°34'43"E	27.50'



**OWNER**  
 STONEY CREEK PROPERTIES, L.L.C.  
 14755 PRESTON ROAD ~ SUITE 130  
 DALLAS, TEXAS 75254  
 CONTACT: DARREL AMEN ~ 972-702-8699

**TENTATIVE DEVELOPMENT PLAN**  
**STONEY CREEK PHASE 2F**  
 LOTS 1-13, BLOCK E; LOTS 1-20, BLOCK F;  
 LOTS 1-36, BLOCK G; LOTS 1-13, BLOCK H  
 ZONED PRO "SF-3"  
 82 SINGLE-FAMILY RESIDENCE &  
 4 OPEN SPACE LOTS  
 61.398 ACRES

NATHAN ATTERBURY SURVEY, ABSTRACT NO. 38  
 AND WILLIAM REED SURVEY, ABSTRACT NO. 1194  
 TOWN OF SUNNYVALE, DALLAS COUNTY, TEXAS  
 DECEMBER 2015  
 SCALE: 1" = 100'  
 ENGINEER  
**DOWDEY, ANDERSON & ASSOCIATES, INC.**  
 5225 Village Creek Drive, Suite 200 Plano, Texas 75093 972-931-0694  
 STATE REGISTRATION NUMBER: F-399  
 SURVEY FIRM REGISTRATION NUMBER: 10077800



TRACT 2

OPEN SPACE REQUIREMENT	=	45.64 ACRES
OPEN SPACE PROVIDED	=	50.99 ACRES
LANDSCAPE BUFFER REQUIREMENT	=	6.35 ACRES
LANDSCAPE BUFFER PROVIDED	=	7.09 ACRES

- 1. PREVIOUSLY PLATTED AS OPEN SPACE, LANDSCAPE, DRAINAGE AND UTILITY EASEMENTS.  
2. AREAS COUNTED IN OPEN SPACE CALCULATIONS ONLY.
- 1. AREAS TO BE PLATTED AS OPEN SPACE, LANDSCAPE, DRAINAGE AND UTILITY EASEMENTS.  
2. AREAS COUNTED IN OPEN SPACE CALCULATIONS ONLY.
- 1. AREAS PREVIOUSLY PLATTED AND TO BE PLATTED AS OPEN SPACE, LANDSCAPE, DRAINAGE AND UTILITY EASEMENTS.  
2. AREAS COUNTED IN LANDSCAPE BUFFER CALCULATIONS ONLY.
- 1. AREA PREVIOUSLY PLATTED AS A NON-BUILDABLE LOT SATISFYING STONEY CREEKS OBLIGATIONS FOR OPEN SPACE AND LANDSCAPE BUFFERS ALONG THE COMMON PROPERTY LINES. THIS AREA IS BEING SOLD TO THE CROWNOVER FAMILY.  
2. AREA COUNTED IN OPEN SPACE CALCULATIONS AS ORIGINALLY CALLED OUT BY P.D. 463 EXHIBIT D.

**TRACT 2 OPEN SPACE**  
**STONEY CREEK**

TOWN OF SUNNYVALE  
DALLAS COUNTY, TEXAS

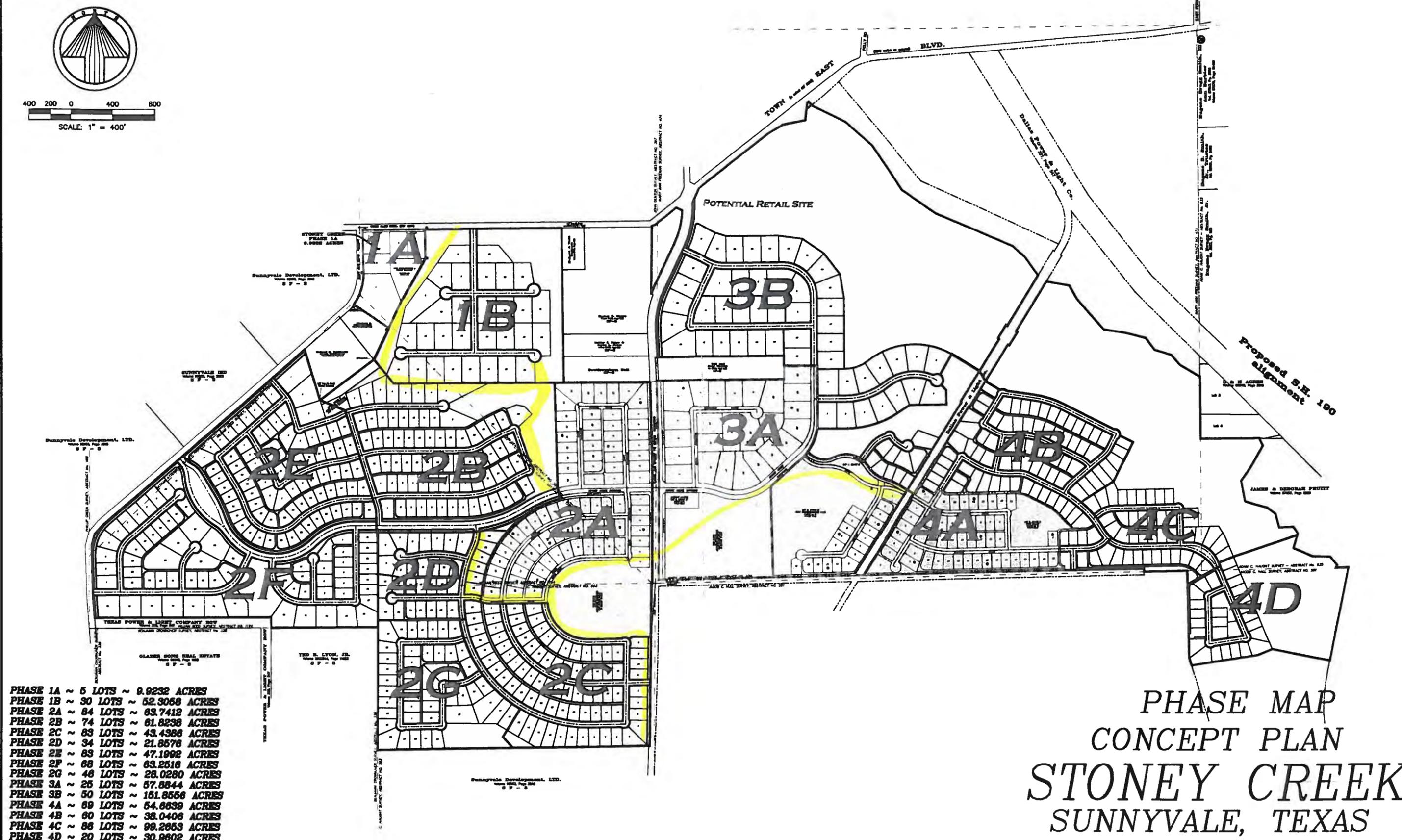
**DOWDEY, ANDERSON & ASSOCIATES, INC.**  
5225 Village Creek Drive, Suite 200 Plano, Texas 75093 972-931-0694  
STATE REGISTRATION NUMBER: F-399  
SURVEY FIRM REGISTRATION NUMBER: 10077800

DESIGN	DRAWN	CHECKED	DATE	SCALE	JOB	SHEET
-	-	-	03/14/16	1"=200'	12014	1

NO.	DATE	BY	REVISION



400 200 0 400 800  
SCALE: 1" = 400'



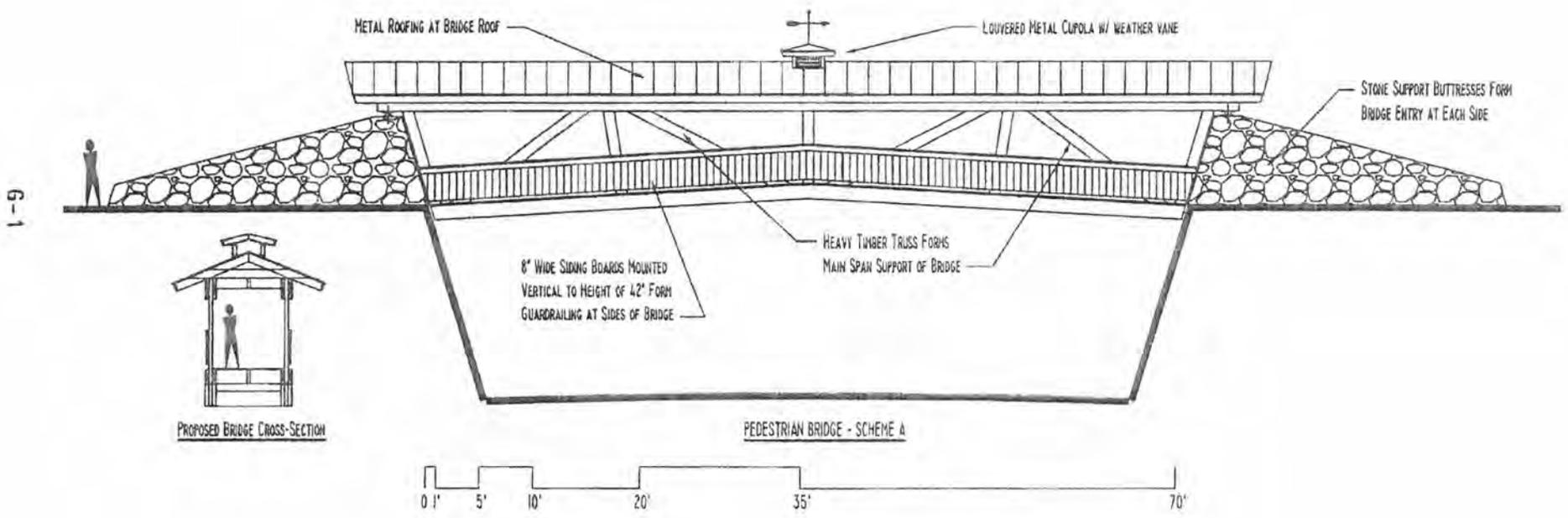
PHASE 1A	~ 6 LOTS	~ 0.9232 ACRES
PHASE 1B	~ 30 LOTS	~ 52.3058 ACRES
PHASE 2A	~ 84 LOTS	~ 63.7412 ACRES
PHASE 2B	~ 74 LOTS	~ 61.8238 ACRES
PHASE 2C	~ 83 LOTS	~ 43.4386 ACRES
PHASE 2D	~ 34 LOTS	~ 21.8576 ACRES
PHASE 2E	~ 83 LOTS	~ 47.1892 ACRES
PHASE 2F	~ 68 LOTS	~ 63.2516 ACRES
PHASE 2G	~ 48 LOTS	~ 28.0260 ACRES
PHASE 3A	~ 25 LOTS	~ 57.8844 ACRES
PHASE 3B	~ 50 LOTS	~ 151.8556 ACRES
PHASE 4A	~ 69 LOTS	~ 54.8839 ACRES
PHASE 4B	~ 60 LOTS	~ 38.0406 ACRES
PHASE 4C	~ 86 LOTS	~ 99.2653 ACRES
PHASE 4D	~ 20 LOTS	~ 30.9602 ACRES

PHASE MAP  
CONCEPT PLAN  
**STONEY CREEK**  
SUNNYVALE, TEXAS

~ OWNER ~  
FORESTAR REAL ESTATE GROUP  
14785 Preston Road ~ Suite 850 ~ Dallas, Texas 75254

**TIPTON ENGINEERING, INC.**  
ENGINEERING • SURVEYING • PLANNING  
5330 Broadway Blvd. • Suite C • Garland, Texas 75043 • (972) 228-2887

**ORDINANCE NO. 463**  
**EXHIBIT G-1**





**Notice of Application for  
Tentative Development Plan  
Town of Sunnyvale  
Planning & Zoning Commission**

The Town of Sunnyvale has received a request from Colin Helffrich, P.E. for a tentative development plan approval of Stoney Creek Phase 2F. The request will allow for the review of an additional proposed phase of Stoney Creek subdivision. The location of the property is shown on the attached exhibit.

The Planning and Zoning Commission will review this application on Monday, March 21, 2016 and the Town Council will consider the application on either Monday, March 28, 2016 or Monday, April 11, 2016. The hearings will be conducted in open session at Town Hall, 127 Collins Road at 7:00 P.M. If you have comments on this application, you may present them in person at these meetings or may submit written comments at any time on or before date of the hearings.

The tentative development plan application and supporting documents are on file at Town Hall and may be examined at no charge. For further information contact Rashad Jackson, Director of Development Services at (972) 203-4103 or [rashad.jackson@townofsunnyvale.org](mailto:rashad.jackson@townofsunnyvale.org) .

I am in favor of the tentative development plan

I am opposed to the tentative development plan

Explanation:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Signature:

*W.C. Lupton*

Printed Name:

Address:

Date:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



# Town of Sunnyvale

March 28, 2016

**Prepared By: Rashad Jackson, AICP  
Director of Development Services**

## Summary:

**APPLICANT:** COLIN HELFFRICH, P.E.  
**AT OR ABOUT:** 334 JOBSON ROAD – 154 ACRES NORTHEAST OF NANCE ROAD  
**REQUEST:** TENTATIVE DEVELOPMENT PLAN – STONEY CREEK TRACT 4 (4B, 4C,4D)

## Background & Analysis:

The applicant is requesting a tentative development plan approval for the remainder of Stoney Creek Tract 4 (4B, 4C & 4D). As shown on the proposed plan, Phase 4B, 4C and 4D will consist of 107 lots and 4 open space lots on 154.042 acres.

*Phase 4B – 43 proposed lots*

*Phase 4C – 12 proposed lots*

*Phase 4D – 52 proposed lots*

The proposed plan shows a total of 107 single family residential lots ranging in size from 15,000 square feet to 32,000 square feet. Open space lots will serve as a landscape buffer along the east, northwest and south sides of the development. Duck Creek will serve as the open space buffer to the north. The overall design intent of the Tract 4 development plan is consistent with the approved concept plan for the tract except for the following variations. The developer would like to gain approval for the plan and proposed changes prior to moving forward with a future request for preliminary platting.

Key requested variations from original Concept Plan and ordinance requirements are noted below. The applicant has also provided a memo detailing all proposed changes:

- *Alleyways removed*
- *Lot to lot drainage shall be allowed for this Tract as reviewed and approved by the Town of Sunnyvale's engineer.*
- *The proposed 8' Hike and Bike trail shall be designed and constructed with the adjacent phase of development.*
- *Open fencing shall not be required adjacent to Duck Creek Open Space unless lots back or side to Duck Creek Open Space. At which point the lots backing or siding to Duck Creek Open Space shall be required to have open fencing.*
- *A variation to the required 2.47 acres of Landscape Buffer calculation. A 20' Open Space, Landscape, Drainage and Utility Easement has been provided along the back of lots adjacent to Nance Road and a 10' Open Space, Landscape, Drainage and Utility Easement has been provided along the back of lots that are adjacent to neighboring properties, as shown on the Tentative Development Plan for Stoney Creek Tract 4. This totals 2.15 acres of Landscape Buffer. Due to the limiting locations to provide Landscape Buffers it is requested the new required Landscape Buffer calculation be 2.15 acres.*

- *The Nance Road connection shall be an “Emergency Access Only” connection. This will consist of a gate, to be reviewed and approved by the Town of Sunnyvale, with a Knox lock box.*
- *Deviation from the typical planting of a Red Tipped Photinia. Due to the growing environment the Town has requested the use of Chinese Photinia in lieu thereof.*

Town staff has evaluated the proposed development against the Zoning Ordinance, Subdivision Ordinance, and Engineering Design Standards as well as the more specific requirements for a PRO contained within Ordinance No. 463.

#### Density and Lot Count Requirements

The property is zoned SF-3 PRO, Single Family Residential 3 Planned Residential Overlay. Ordinance No. 463 provides further regulations for how Tract 4 of Stoney Creek is to develop. The total number of dwelling units provided within Tract 4 shall not exceed 235. To date, Tract 4 has a total of 112 lots. If approved, the current tentative development plan proposes a total of 176 dwelling units at build out for Tract 4. Ordinance No. 463 stipulates, the overall maximum density per gross usable acre shall not exceed 1.43 dwelling units per acre. The proposed plan proposes an overall density of 1.14 dwelling units per acre. Tract 4 totals are noted below:

<b>TRACT 4 ZONING REQUIREMENTS</b>						
<b>ZONING REQUIREMENTS</b>			<b>CURRENT DEVELOPMENT</b>			
MAXIMUM NUMBER OF UNITS:	235			CURRENT TOTAL NUMBER OF UNITS:	176	
MAXIMUM ACRES:	-			TOTAL ACRES:	154.74	
MAXIMUM DENSITY:	1.43	UNITS/ACRE		DENSITY:	1.14	UNITS/ACRE
<b>ZONING LOT SIZE REQUIREMENTS</b>			<b>CURRENT RESIDENTIAL LOT SIZE</b>			
13,000-14,999	177	UNITS	13,000-14,999	53	UNITS	
15,000-17,999	37	UNITS	15,000-17,999	14	UNITS	
>18000	21	UNITS	>18000	109	UNITS	
<b>PHASE 4A</b>			<b>PHASE 4C</b>			
13,000-14,999	53	UNITS	13,000-14,999	0	UNITS	
15,000-17,999	12	UNITS	15,000-17,999	0	UNITS	
>18000	4	UNITS	>18000	12	UNITS	
<b>PHASE 4B</b>			<b>PHASE 4D</b>			
13,000-14,999	0	UNITS	13,000-14,999	0	UNITS	
15,000-17,999	1	UNITS	15,000-17,999	1	UNITS	
>18000	42	UNITS	>18000	51	UNITS	

#### Setbacks and Lot Size

As per the zoning requirements and the PRO standards, lots within Tract 4 of the Stoney Creek development are required to be a mix of sizes, which include:

<b>Number of Units</b>	<b>Lot Size</b>
177	Greater than or = to 13,000 – 14,999 square feet
37	Greater than or = to 15,000 – 17,999 square feet
21	Greater than or equal to 18,000 square feet

As shown above, the tentative development plan for the remainder of Tract 4 proposes the following lot sizes at build out.

<b>Number of Units</b>	<b>Lot Size</b>
53	13,000 – 14,999 square feet
14	15,000 – 17,999 square feet
109	Greater than or equal to 18,000 square feet

Lot width, lot depth, and setbacks are determined based upon the size of the lot provided. Under base zoning district requirements, setbacks and lot width requirements for lots within these size ranges are as follows:

Lot Size	Width	Front Setback	Side Setback	Rear Setback
14,000 to 19,999	100	50	20	30
20,000 to 34,999	120	60	20	40

The proposed plan calls for the following typical lot setbacks. The proposed setbacks are consistent with previous Tract 4 phases of Stoney Creek and the Stoney Creek PRO regulations. Staff notes, under Ordinance No. 463 (Section IV.D.7.c), the width and setbacks for Tract 4 were allowed to be reduced from the base zoning ordinance requirements no matter what size the lot. The proposed setbacks meet the Tract 4 requirements.

Lot Size	Width	Front Setback	Side Setback	Rear Setback
14,000 to 19,999	90	40	15 (30 if corner lot)	40
20,000 to 34,999	90	40	15 (30 if corner lot)	40

#### Landscaped Buffer Areas and Open Space

If the tentative development plan is approved, a landscape plan/tree survey will be required with the submittal of the preliminary plat for each phase. The current plan shows a perimeter buffer along the east, northwest (Duck Creek) and south sides of the development. A 20' open space buffer will be located along the Nance Road right of way. In accordance with ordinance 463, a 6' wrought iron fence with stone columns spaced at 500' on center shall be located along Nance Road. The Nance Road buffer will continue west and turn south along the perimeter of phase 4D. A 10' buffer is proposed along the southern perimeter of phase 4D. Chinese photinia will be planted to serve as a living screen from the right of way. Duck Creek will be maintained as is except for the development of an 8' hike and bike trail.

The plan would appear to be consistent with the approved open space/landscape plan for Stoney Creek. Final details of the proposed landscaping will be reviewed at the preliminary plat submittal stage.

#### Access and Infrastructure

Direct access will be provided to the remainder of Tract 4 from Talbot Lane and Nance Road. The condition and width of Nance Road causes some concern considering its possible use for access to Tract 4. Although there is concern with the use of Nance Road, a development of this size should have two points of egress and ingress.

A possible temporary solution has been proposed by the developer to construct an emergency entry on to Nance Road from Phase 4B until plans are finalized for the improvement or abandonment of Nance Road. For emergency egress and ingress, the use of a gated entry with a knox box would be used. Only emergency personnel would have access to the knox box key.

With the proposed removal of all alleys, each home will be accessed from the front. Garage orientation and access must adhere to Section 20.7 of the zoning ordinance.

#### *Section 20.7*

- *Garage orientation shall be side or rear facing; if an alley exists the property shall be accessed from the alley.*
- *A garage may face the front of the lot if setback a minimum of 25 feet from the front building line and is screened by the presence of a porte cochere.*
- *Detached garages may face the front of the lot if setback from the rear line of the dwelling*

*by a minimum 25 feet and no alley exists.*

### Engineering – Lot to lot drainage

Due to the extreme elevation changes in the subject area, the use of retaining walls will be required. Town engineering standards stipulate that all drainage shall flow from private property to the public right of way. Establishing appropriate drainage flow in accordance with this Town standard could create a maintenance issue with the use of retaining walls. The developer suggests that meeting the Town standard would require the construction of extremely tall retaining walls. Noting this, the developer has suggested that lot to lot drainage (private property to private property) will be necessary in order to develop the area. As noted, our current development standards do not allow for lot to lot drainage. The developer has requested approval to allow for lot to lot drainage in order to alleviate possible issues with the maintenance of tall retaining walls.

Our Town engineer has reviewed the lot to lot grading proposal and noted the following.

*“The grading exhibit that was submitted shows multiple alternatives for lot grading and drainage. Two of the options shows lot-to-lot drainage where the upper lot drains onto the lower lot and then is collected in a drainage swale. Lot-to-lot drainage is not allowed in the Town of Sunnyvale and any exceptions would have to be granted by the Town Council. If lot-to-lot drainage is allowed by the Town Council the swales, flumes, etc. would need to be sized to accommodate the stormwater runoff.”*

### Public Notice

Public notice was provided to the Town’s Official Newspaper for publication on March 2<sup>nd</sup>, 2016. Letters were also sent to property owners’ within 400’ on March 10<sup>th</sup>, 2016. The total number of letters sent was forty-eight (48). As of the release of the staff memo, one (1) response in opposition had been received.

### Fiscal Impact

At the final plat stage, ordinance No. 463 requires that the developer contribute \$1,100 per lot for traffic mitigation fees. This would equate to \$47,300 for phase 4B, \$13,200 for phase 4C and \$57,200 for phase 4D. These fees are to be set aside for two (2) designated roadway projects: Collins Rd (from Town East to Tripp Rd) and Tripp Rd/Collins Rd intersection improvements. To date, \$418,800 (not including the remaining Tract 4 phases) has been contributed to the fund.

### Planning & Zoning Commission Recommendation – 3/21/16

Chairman Demko called for a motion. Commissioner Moss made a motion to approve the request as submitted. Commissioner Pease seconded. Chairman Demko called for a vote, the motion passed 4 in favor 3 against.

### Staff Recommendation

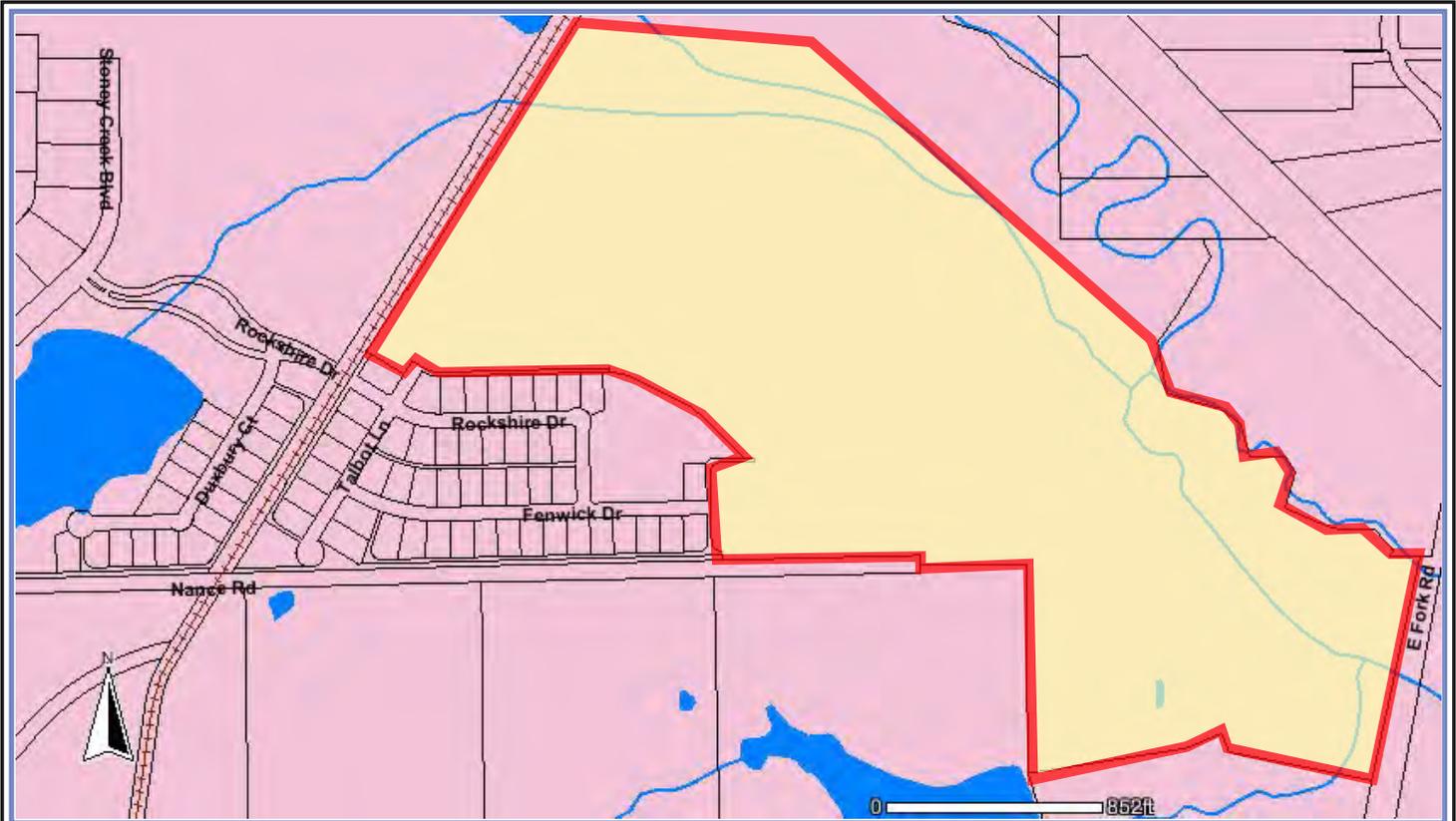
Town staff has the following comments/recommendations for consideration:

1. Staff recommends approval. The proposed changes still meet the overall intent of the original ordinance. All department comments must be satisfactorily addressed prior to any development.
2. Prior to development, a plan for the future of Nance Road should be established. Past plans were to eventually abandon the right of way with the extension of Hounsel Lane. As shown on the overall Stoney Creek concept plan, the extension of Hounsel Lane will provide a connection from Tract 4 to Collins Road. Ordinance No. 463 stipulates that the extension of Hounsel Lane was to be done with the first phase of Tract 5. An extension has not been completed. Staff notes that the current owner of Tract 5 is different than the applicant.
3. HOA documents will be required for the proposed phases at the final plat approval.

4. The applicant will be subject to the payment of traffic mitigation fees in accordance with Ordinance No. 463 at \$1,100 per lot to be paid at final plat approval.

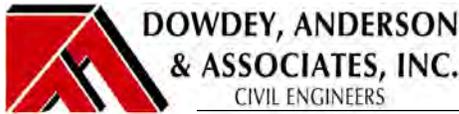
### **Attachments**

- Location Map
- Applicant Variation Memo
- Tentative Development Plan: Stoney Creek Tract 4
- Tentative Development Plan: Stoney Creek Tract 4 – Open Space
- Wall and Lot grading exhibit
- Approved Concept Plan Stoney Creek – property owned by Forestar Developers
- Approved Concept Plan Stoney Creek – all phases.
- 400' notice response letter



Dallas Central Appraisal  
District  
[www.dallascad.org](http://www.dallascad.org)

**DISCLAIMER**  
This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.



**DOWDEY, ANDERSON  
& ASSOCIATES, INC.**  
CIVIL ENGINEERS

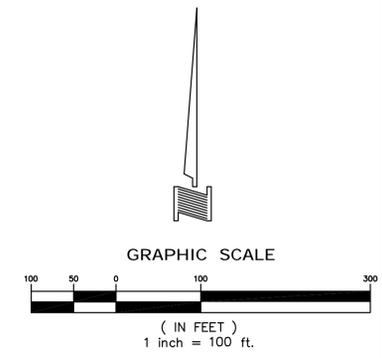
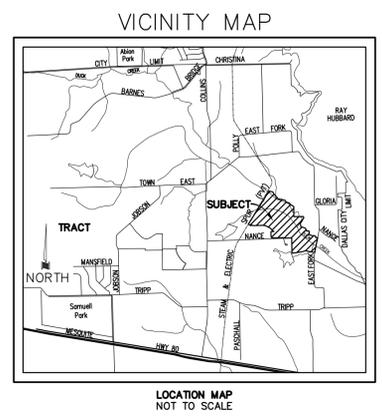
5225 Village Creek Drive  
Suite 200  
Plano, Texas 75093  
972-931-0694  
972-931-9538 Fax

**MEMO FOR RECORD**  
**STONEY CREEK TRACT 4, PHASE 4B, 4C & 4D (DAA JOB NO. 12014-04)**  
**March 14, 2016**

**TO:** Town of Sunnyvale  
**CC:** Forestar Development  
**FROM:** Dowdey, Anderson & Associates, Inc.  
**RE:** Stoney Creek Tract 4, Phase 4B, 4C & 4D  
Sunnyvale, Texas

Below is a list of proposed variations and deviations from the Town of Sunnyvale's Ordinance No. 463 and the Town of Sunnyvale's Zoning/Subdivision Ordinance.

- Lot to lot drainage shall be allowed for this Tract as reviewed and approved by the Town of Sunnyvale's engineer. Lot to lot drainage will alleviate the maintenance encumbrance of tall retaining walls. Private drainage easements shall be required for lots that have lot to lot drainage.
- The proposed 8' Hike and Bike trail shall be designed and constructed with the adjacent phase of development.
- Open fencing shall not be required adjacent to Duck Creek Open Space unless lots back or side to Duck Creek Open Space. At which point the lots backing or siding to Duck Creek Open Space shall be required to have open fencing.
- A variation to the required 2.47 acres of Landscape Buffer calculation. A 20' Open Space, Landscape, Drainage and Utility Easement has been provided along the back of lots adjacent to Nance Road and a 10' Open Space, Landscape, Drainage and Utility Easement has been provided along the back of lots that are adjacent to neighboring properties, as shown on the Tentative Development Plan for Stoney Creek Tract 4. This totals 2.15 acres of Landscape Buffer. Due to the limiting locations to provide Landscape Buffers it is requested the new required Landscape Buffer calculation be 2.15 acres.
- The Nance Road connection shall be an "Emergency Access Only" connection. This will consist of a gate, to be reviewed and approved by the Town of Sunnyvale, with a Knox lock box.
- Deviation from the typical planting of a Red Tipped Photinia as called out in Ordinance No. 463 Exhibit D Open Space & Trail Plan. Due to the growing environment the Town has requested we provide Chinese Photinia in lieu thereof.
- To keep the consistency of previously approved plats, the Open Space and Landscape Buffer terms and calculations will be as shown on the Tract 4 Open Space Exhibit.



TRACT 4 ZONING REQUIREMENTS			
<b>ZONING REQUIREMENTS</b>		<b>CURRENT DEVELOPMENT</b>	
MAXIMUM NUMBER OF UNITS:	235	CURRENT TOTAL NUMBER OF UNITS:	176
MAXIMUM ACRES:	-	TOTAL ACRES:	154.74
MAXIMUM DENSITY:	1.43 UNITS/ACRE	DENSITY:	1.14 UNITS/ACRE
<b>ZONING LOT SIZE REQUIREMENTS</b>		<b>CURRENT RESIDENTIAL LOT SIZE</b>	
13,000-14,999	177 UNITS	13,000-14,999	53 UNITS
15,000-17,999	37 UNITS	15,000-17,999	14 UNITS
>18000	21 UNITS	>18000	108 UNITS
<b>PHASE 4A</b>		<b>PHASE 4C</b>	
13,000-14,999	53 UNITS	13,000-14,999	0 UNITS
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<b>PHASE 4B</b>		<b>PHASE 4D</b>	
13,000-14,999	0 UNITS	13,000-14,999	0 UNITS
15,000-17,999	1 UNITS	15,000-17,999	1 UNITS
>18000	42 UNITS	>18000	51 UNITS

- NOTES:
- MINIMUM SETBACK REQUIREMENTS SHALL BE AS SET FORTH IN THE TOWN OF SUNNYVALE'S ORDINANCE NO. 463 AS WELL AS THE TOWN OF SUNNYVALE'S ZONING ORDINANCE CHART 3.2: AREA STANDARDS FOR RESIDENTIAL LOTS.
  - LOT TO LOT DRAINAGE SHALL BE ALLOWED FOR THIS TRACT AS REVIEWED AND APPROVED BY THE TOWN OF SUNNYVALE'S ENGINEER. LOT TO LOT DRAINAGE WILL ALLEVIATE THE MAINTENANCE ENCUMBRANCE OF TALL RETAINING WALLS. PRIVATE DRAINAGE EASEMENTS SHALL BE REQUIRED FOR LOTS THAT HAVE LOT TO LOT DRAINAGE.
  - PER THE TOWN OF SUNNYVALE'S TREE ORDINANCE, A TREE CANOPY DELINEATION PREPARED BY AN ARBORIST SHALL BE ALLOWED IN LIEU OF AN ON THE GROUND TREE SURVEY FOR THIS TRACT. UPON THE TOWN'S APPROVAL OF THE TREE CANOPY DELINEATION ALL TREES FOUND TO BE EXEMPT FROM TREE PROTECTION OR TREE REPLACEMENT SHALL BE ALLOWED TO BE REMOVED. EXEMPT TREES SHALL FOLLOW THE TOWN OF SUNNYVALE'S EXEMPTION LIST.
  - PROPOSED 8' HIKE AND BIKE TRAIL SHALL BE DESIGNED AND CONSTRUCTED WITH THE ADJACENT PHASE OF DEVELOPMENT.
  - LOTS BACKING OR SIDING TO OPEN SPACE SHALL REQUIRE OPEN FENCING.

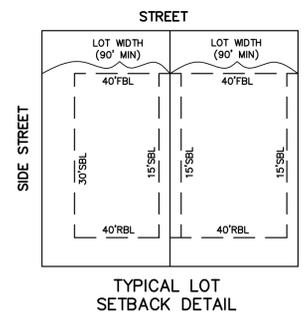
**LEGEND**

BTP = BY THIS PLAT  
 BSE = BY SEPARATE INSTRUMENT  
 SWE = SIDEWALK EASEMENT  
 DE = DRAINAGE EASEMENT  
 PDE = PRIVATE DRAINAGE EASEMENT  
 SSE = SANITARY SEWER EASEMENT  
 UE = UTILITY EASEMENT  
 TUE = TRANSFORMER & UTILITY EASEMENT  
 TE = 10'X10' TRANSFORMER EASEMENT  
 HOA = HOME OWNERS ASSOCIATION  
 BL = BUILDING LINE  
 D.R.D.C.T. = DEED RECORDS, DALLAS COUNTY, TEXAS  
 M.R.D.C.T. = MAP RECORDS, DALLAS COUNTY, TEXAS  
 O.P.R.D.C.T. = OFFICIAL PUBLIC RECORD, DALLAS COUNTY, TEXAS

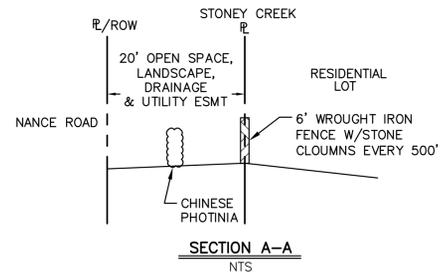
RC = RED CAP  
 IRF = IRON ROD FOUND  
 <CM> = CONTROLLING MONUMENT

◇ DENOTES STREET NAME CHANGE

⊙ = 1/2" IRON ROD FOUND W/ YELLOW PLASTIC CAP STAMPED "DAA" (UNLESS OTHERWISE NOTED)  
 ● = 1/2" IRON ROD SET W/ YELLOW PLASTIC CAP STAMPED "DAA" (UNLESS OTHERWISE NOTED)



MATCH LINE (SEE NEXT SHEET)



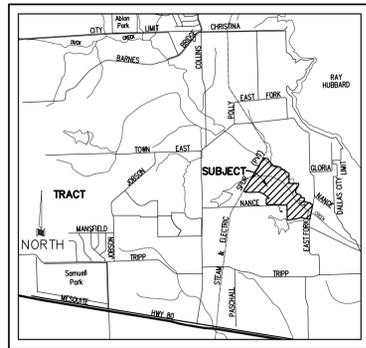
**TENTATIVE DEVELOPMENT PLAN**  
**STONEY CREEK TRACT 4**  
 LOTS 1-54, BLOCK A, LOTS 1-20, BLOCK B  
 LOTS 1-16, BLOCK C, LOTS 1-12, BLOCK D  
 LOTS 1-2, BLOCK E, LOT 1, BLOCK F  
 LOTS 1-2, BLOCK G  
 ZONED PRO "SF-3"  
 107 SINGLE-FAMILY RESIDENCE &  
 4 OPEN SPACE LOTS  
 154.042 ACRES

ADAM C. HAUGHT SURVEY, ABSTRACT NO. 635  
 JACOB C. HULL SURVEY, ABSTRACT NO. 591  
 MARY ANN FREEMAN SURVEY, ABSTRACT NO. 474  
 TOWN OF SUNNYVALE, DALLAS COUNTY, TEXAS  
 FEBRUARY 2016 SCALE: 1" = 100'

OWNER  
**STONEY CREEK PROPERTIES, L.L.C.**  
 14755 PRESTON ROAD ~ SUITE 130  
 DALLAS, TEXAS 75254  
 CONTACT: DARREL AMEN ~ 972-702-8699

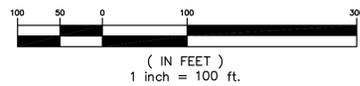
ENGINEER  
**DOWDEY, ANDERSON & ASSOCIATES, INC.**  
 5225 Village Creek Drive, Suite 200 Plano, Texas 75093 972-931-0694  
 STATE REGISTRATION NUMBER: F-399  
 SURVEY FIRM REGISTRATION NUMBER: 10077800

VICINITY MAP

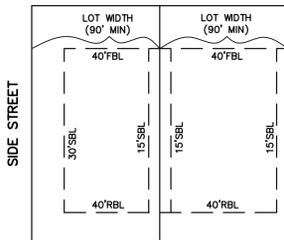


LOCATION MAP NOT TO SCALE

GRAPHIC SCALE



STREET



TYPICAL LOT SETBACK DETAIL

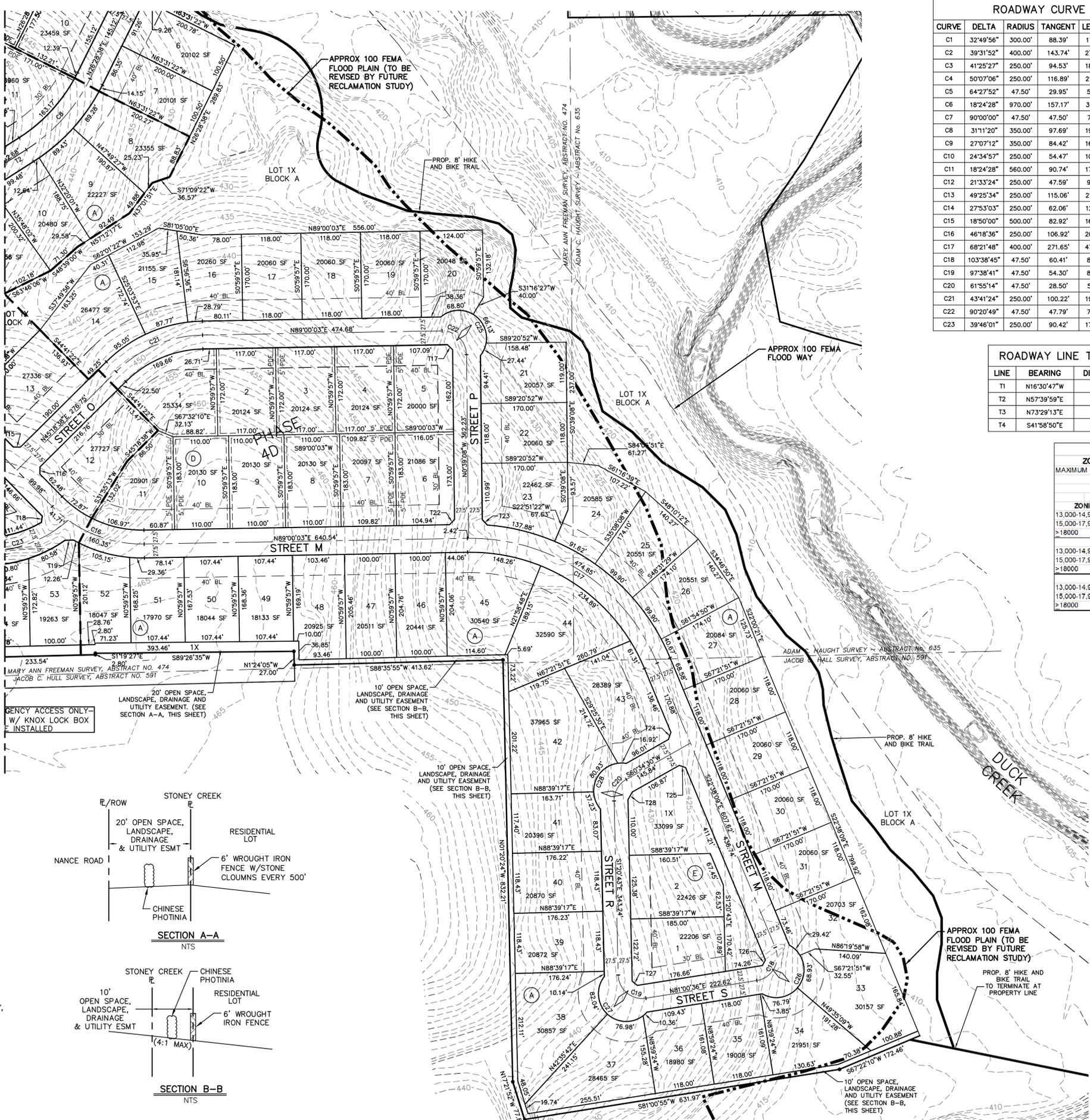
LEGEND

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- ◇ DENOTES STREET NAME CHANGE
- = 1/2" IRON ROD FOUND W/ YELLOW PLASTIC CAP STAMPED "DAA" (UNLESS OTHERWISE NOTED)
- = 1/2" IRON ROD SET W/ YELLOW PLASTIC CAP STAMPED "DAA" (UNLESS OTHERWISE NOTED)

REVISED:

MATCH LINE (SEE PREVIOUS SHEET)

MATCH LINE (SEE PREVIOUS SHEET)



**ROADWAY LINE TABLE**

LINE	BEARING	DISTANCE
T1	N16°30'47"W	82.52'
T2	N57°39'59"E	99.48'
T3	N73°29'13"E	37.18'
T4	S41°58'50"E	16.40'

**ROADWAY CURVE TABLE**

CURVE	DELTA	RADIUS	TANGENT	LENGTH	CHORD
C1	32°49'56"	300.00'	88.39'	171.91'	N48°01'34"E 169.57'
C2	39°31'52"	400.00'	143.74'	275.98'	N44°40'36"E 270.54'
C3	41°25'27"	250.00'	94.53'	180.75'	N04°11'56"E 176.84'
C4	50°07'06"	250.00'	116.89'	218.68'	N08°32'46"E 211.78'
C5	64°27'52"	47.50'	29.95'	53.44'	N65°50'14"E 50.67'
C6	18°24'28"	970.00'	157.17'	311.84'	N72°43'36"W 310.30'
C7	90°00'00"	47.50'	47.50'	74.61'	N18°31'22"W 67.18'
C8	31°11'20"	350.00'	97.69'	190.52'	N42°04'19"E 188.18'
C9	27°07'12"	350.00'	84.42'	165.67'	N44°06'23"E 164.12'
C10	24°34'57"	250.00'	54.47'	107.26'	N85°46'41"E 106.44'
C11	18°24'28"	560.00'	90.74'	179.92'	S72°43'36"E 179.14'
C12	21°33'24"	250.00'	47.59'	94.06'	S52°44'40"E 93.50'
C13	49°25'34"	250.00'	115.06'	215.66'	S66°41'38"E 209.04'
C14	27°53'03"	250.00'	62.06'	121.67'	S77°27'53"E 120.47'
C15	18°50'00"	500.00'	82.92'	164.35'	S54°06'22"E 163.61'
C16	46°18'36"	250.00'	106.92'	202.06'	S67°50'39"E 196.61'
C17	68°21'48"	400.00'	271.65'	477.27'	S56°49'03"E 449.46'
C18	10°33'48"	47.50'	60.41'	85.93'	S29°11'14"W 74.68'
C19	97°38'41"	47.50'	54.30'	80.95'	S50°10'04"E 71.50'
C20	61°55'14"	47.50'	28.50'	51.33'	S29°36'54"W 48.87'
C21	43°41'24"	250.00'	100.22'	190.63'	N67°09'21"E 186.05'
C22	90°20'49"	47.50'	47.79'	74.90'	S45°49'33"E 67.38'
C23	39°46'01"	250.00'	90.42'	173.52'	N68°42'35"E 170.05'

**LOT CURVE TABLE**

CURVE	DELTA	RADIUS	TANGENT	LENGTH	CHORD
C24	89°59'58"	40.00'	40.00'	62.83'	S43°35'53"W 56.57'
C25	169°08'53"	55.00'	579.04'	162.37'	N45°49'33"W 109.51'
C26	182°26'49"	55.00'	2575.39'	175.14'	N29°11'14"E 109.97'
C27	176°26'45"	55.00'	1772.71'	169.38'	S50°10'04"E 109.95'
C28	140°43'18"	55.00'	154.12'	135.08'	S29°36'54"W 103.60'

**LOT LINE TABLE**

LINE	BEARING	LENGTH
T5	S83°15'21"E	15.62'
T6	S1°19'21"W	13.39'
T7	N29°46'33"E	14.46'
T8	N61°30'45"W	14.14'
T9	N65°50'14"E	16.92'
T10	S18°31'22"E	14.14'
T11	S85°05'02"E	15.92'
T12	N0°00'00"E	12.02'
T13	S76°08'51"W	13.99'
T14	N10°18'36"W	15.13'
T15	N89°41'22"W	14.14'
T16	N0°18'38"E	14.14'
T17	S45°49'33"E	14.10'
T18	S6°57'25"W	12.41'
T19	N87°17'19"E	16.76'
T20	S46°24'25"E	14.14'
T21	N43°35'35"E	14.14'
T22	S44°10'27"W	14.18'
T23	N43°28'21"W	14.67'
T24	S18°58'11"W	14.95'

**TRACT 4 ZONING REQUIREMENTS**

ZONING REQUIREMENTS	CURRENT DEVELOPMENT		
MAXIMUM NUMBER OF UNITS: 235	CURRENT TOTAL NUMBER OF UNITS: 176		
MAXIMUM ACRES: -	TOTAL ACRES: 154.74		
MAXIMUM DENSITY: 1.43 UNITS/ACRE	DENSITY: 1.14 UNITS/ACRE		
ZONING LOT SIZE REQUIREMENTS	CURRENT RESIDENTIAL LOT SIZE		
13,000-14,999	177 UNITS	13,000-14,999	53 UNITS
15,000-17,999	37 UNITS	15,000-17,999	14 UNITS
>18000	21 UNITS	>18000	109 UNITS
PHASE 4A	PHASE 4C		
13,000-14,999	53 UNITS	13,000-14,999	0 UNITS
15,000-17,999	12 UNITS	15,000-17,999	0 UNITS
>18000	4 UNITS	>18000	12 UNITS
PHASE 4B	PHASE 4D		
13,000-14,999	0 UNITS	13,000-14,999	0 UNITS
15,000-17,999	1 UNITS	15,000-17,999	1 UNITS
>18000	42 UNITS	>18000	51 UNITS

- NOTES:
- MINIMUM SETBACK REQUIREMENTS SHALL BE AS SET FORTH IN THE TOWN OF SUNNYVALE'S ORDINANCE NO. 463 AS WELL AS THE TOWN OF SUNNYVALE'S ZONING ORDINANCE CHART 3.2: AREA STANDARDS FOR RESIDENTIAL LOTS.
  - LOT TO LOT DRAINAGE SHALL BE ALLOWED FOR THIS TRACT AS REVIEWED AND APPROVED BY THE TOWN OF SUNNYVALE'S ENGINEER. LOT TO LOT DRAINAGE WILL ALLEVIATE THE MAINTENANCE ENCUMBRANCE OF TALL RETAINING WALLS. PRIVATE DRAINAGE EASEMENTS SHALL BE REQUIRED FOR LOTS THAT HAVE LOT TO LOT DRAINAGE.
  - PER THE TOWN OF SUNNYVALE'S TREE ORDINANCE, A TREE CANOPY DELINEATION PREPARED BY AN ARBORIST SHALL BE ALLOWED IN LIEU OF AN ON THE GROUND TREE SURVEY FOR THIS TRACT. UPON THE TOWN'S APPROVAL OF THE TREE CANOPY DELINEATION ALL TREES FOUND TO BE EXEMPT FROM TREE PROTECTION OR TREE REPLACEMENT SHALL BE ALLOWED TO BE REMOVED. EXEMPT TREES SHALL FOLLOW THE TOWN OF SUNNYVALE'S EXEMPTION LIST.
  - PROPOSED 8' HIKE AND BIKE TRAIL SHALL BE DESIGNED AND CONSTRUCTED WITH THE ADJACENT PHASE OF DEVELOPMENT.
  - LOTS BACKING OR SIDING TO OPEN SPACE SHALL REQUIRE OPEN FENCING.

**TENTATIVE DEVELOPMENT PLAN**  
**STONEY CREEK TRACT 4**  
 LOTS 1-54, BLOCK A, LOTS 1-20, BLOCK B  
 LOTS 1-16, BLOCK C, LOTS 1-12, BLOCK D  
 LOTS 1-2, BLOCK E, LOT 1, BLOCK F  
 LOTS 1-2, BLOCK G  
**ZONED PRO "SF-3"**  
**107 SINGLE-FAMILY RESIDENCE &**  
**4 OPEN SPACE LOTS**  
**154.042 ACRES**

ADAM C. HAUGHT SURVEY, ABSTRACT NO. 635  
 JACOB C. HULL SURVEY, ABSTRACT NO. 591  
 MARY ANN FREEMAN SURVEY, ABSTRACT NO. 474  
 TOWN OF SUNNYVALE, DALLAS COUNTY, TEXAS

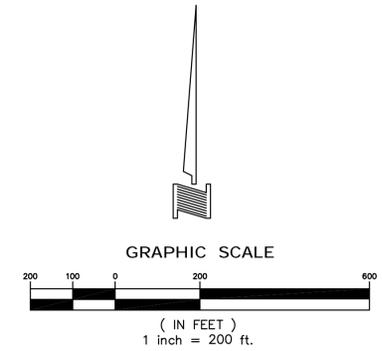
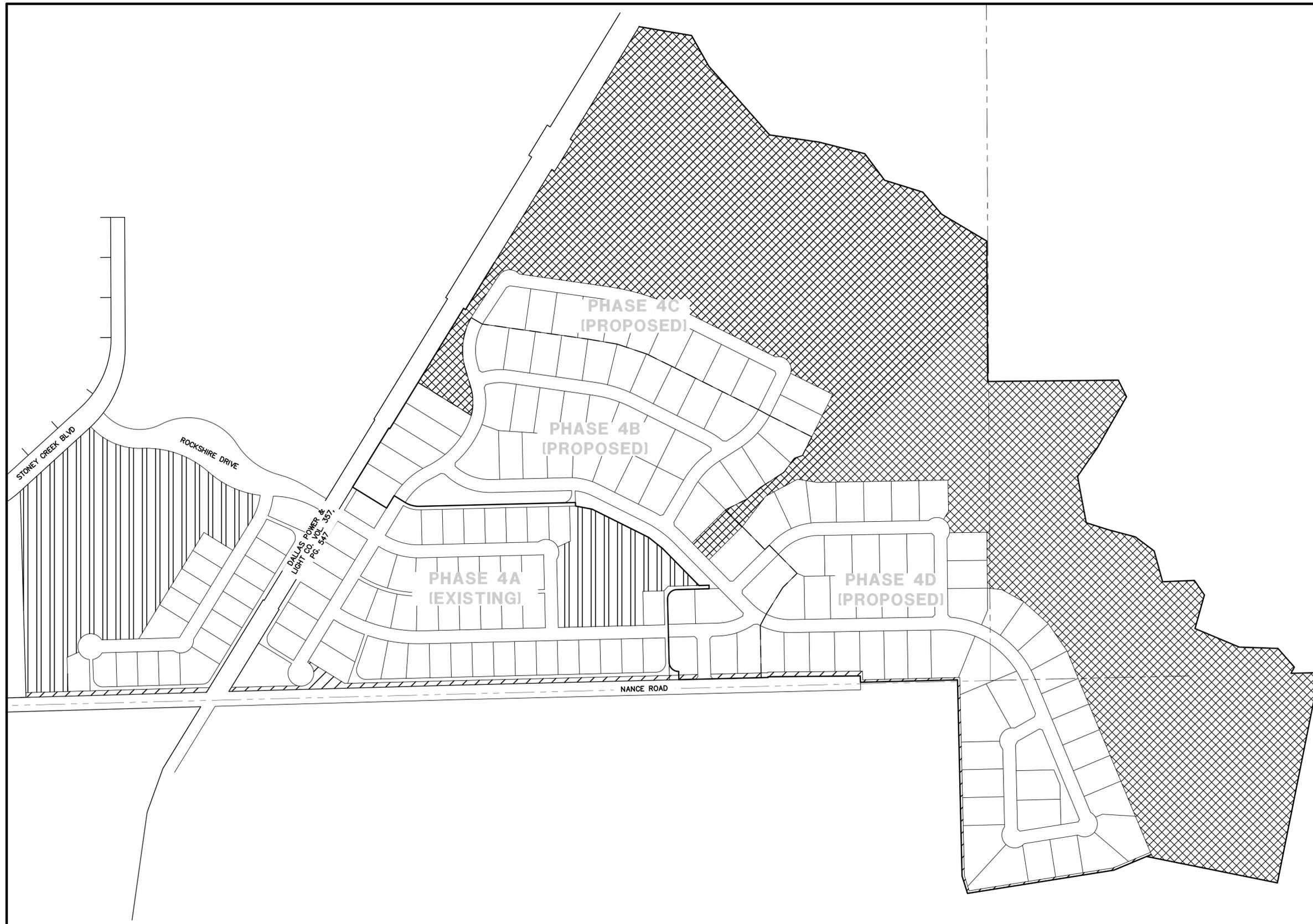
FEBRUARY 2016 SCALE: 1" = 100'

OWNER  
**STONEY CREEK PROPERTIES, L.L.C.**  
 14755 PRESTON ROAD ~ SUITE 130  
 DALLAS, TEXAS 75254  
 CONTACT: DARREL AMEN ~ 972-702-8699

ENGINEER  
**DOWDEY, ANDERSON & ASSOCIATES, INC.**  
 5225 Village Creek Drive, Suite 200 Plano, Texas 75093 972-931-0694



STATE REGISTRATION NUMBER: F-399  
 SURVEY FIRM REGISTRATION NUMBER: 10077800



**TRACT 4**

□□□□ OPEN SPACE REQUIREMENT	=	43.46 ACRES
⊗⊗⊗⊗ OPEN SPACE PROVIDED	=	102.22 ACRES
▨▨▨▨ LANDSCAPE BUFFER REQUIREMENT	=	2.47 ACRES
▨▨▨▨ LANDSCAPE BUFFER PROVIDED	=	2.15 ACRES

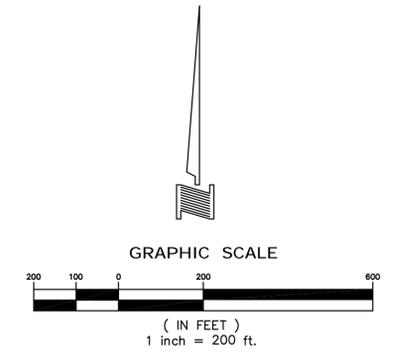
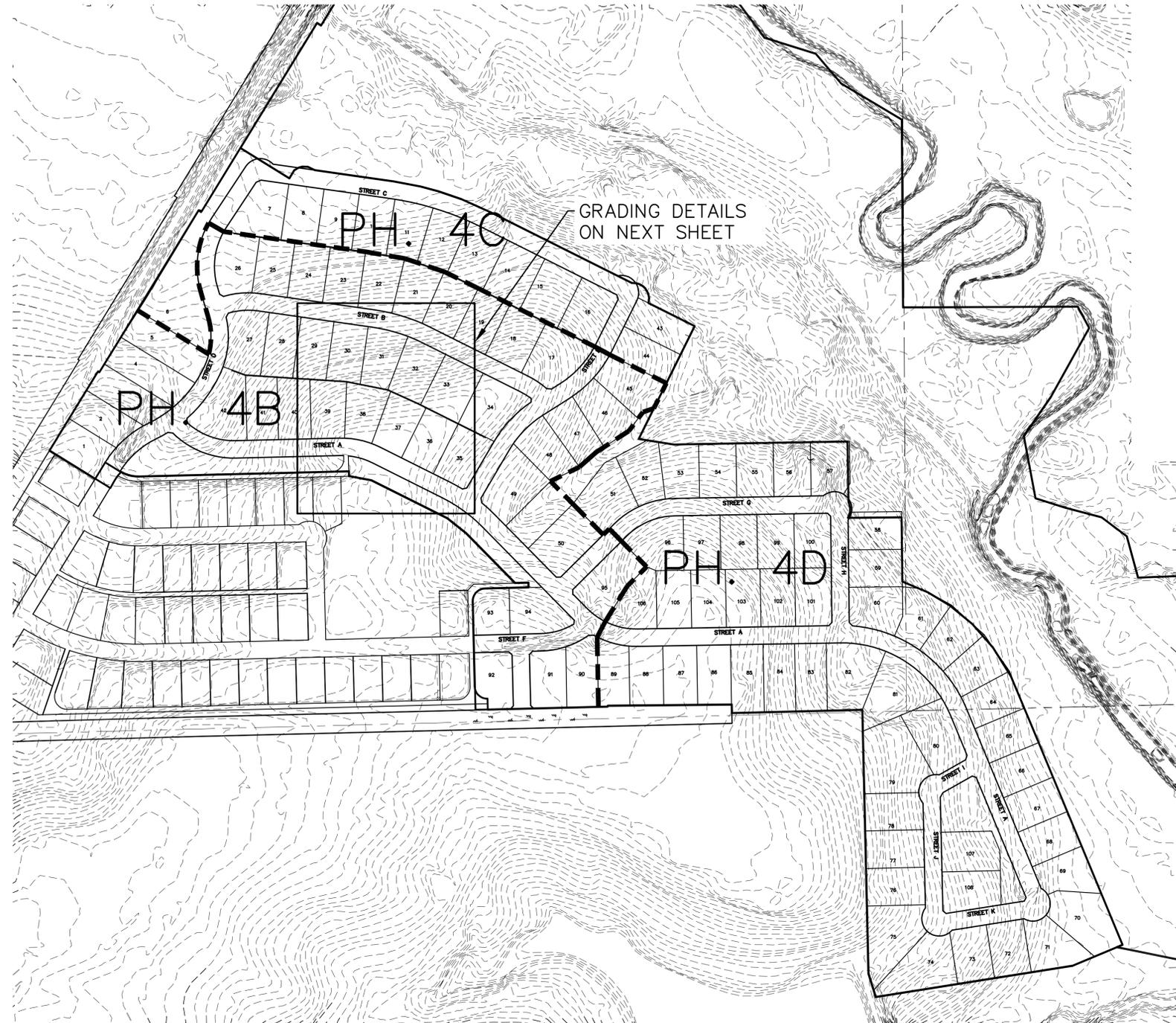
1. PREVIOUSLY PLATTED AS OPEN SPACE, LANDSCAPE, DRAINAGE AND UTILITY EASEMENTS.  
 2. AREAS COUNTED IN OPEN SPACE CALCULATIONS ONLY.

1. AREAS TO BE PLATTED AS OPEN SPACE, LANDSCAPE, DRAINAGE AND UTILITY EASEMENTS.  
 2. AREAS COUNTED IN OPEN SPACE CALCULATIONS ONLY.

1. AREAS PREVIOUSLY PLATTED AND TO BE PLATTED AS OPEN SPACE, LANDSCAPE, DRAINAGE AND UTILITY EASEMENTS.  
 2. AREAS COUNTED IN LANDSCAPE BUFFER CALCULATIONS ONLY.

<b>TRACT 4 OPEN SPACE</b>					
<b>STONEY CREEK</b>					
TOWN OF SUNNYVALE					
DALLAS COUNTY, TEXAS					
<b>DOWDEY, ANDERSON &amp; ASSOCIATES, INC.</b> 5225 Village Creek Drive, Suite 200 Plano, Texas 75093 972-931-0694 <small>STATE REGISTRATION NUMBER: F-399                  SURVEY FIRM REGISTRATION NUMBER: 10077800</small>					
DESIGN	DRAWN	CHECKED	DATE	SCALE	JOB
TDM	TDM	CWH	03/11/16	1"=200'	12014-04
					1

NO.	DATE	BY	REVISION



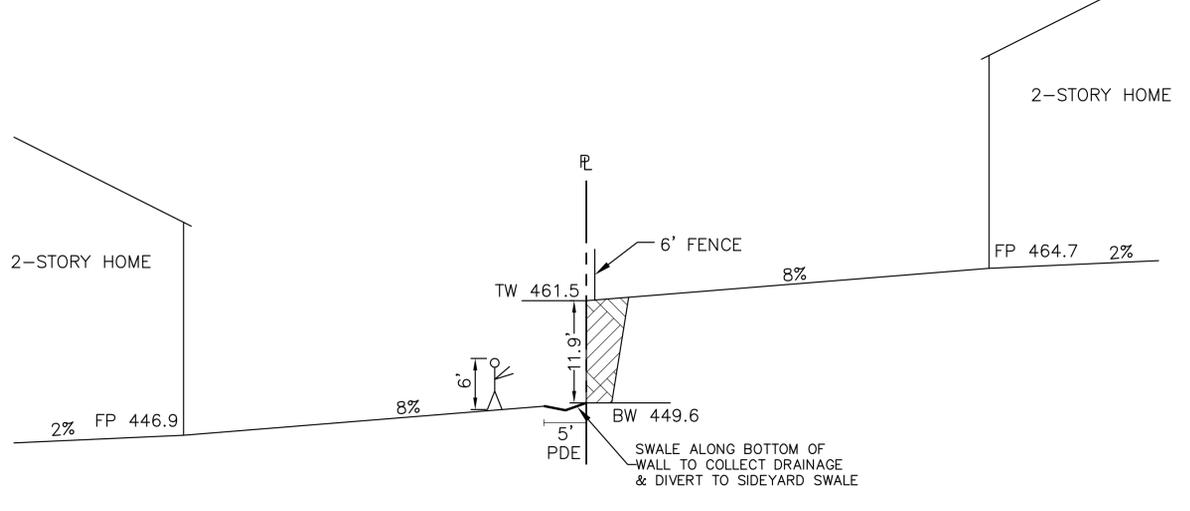
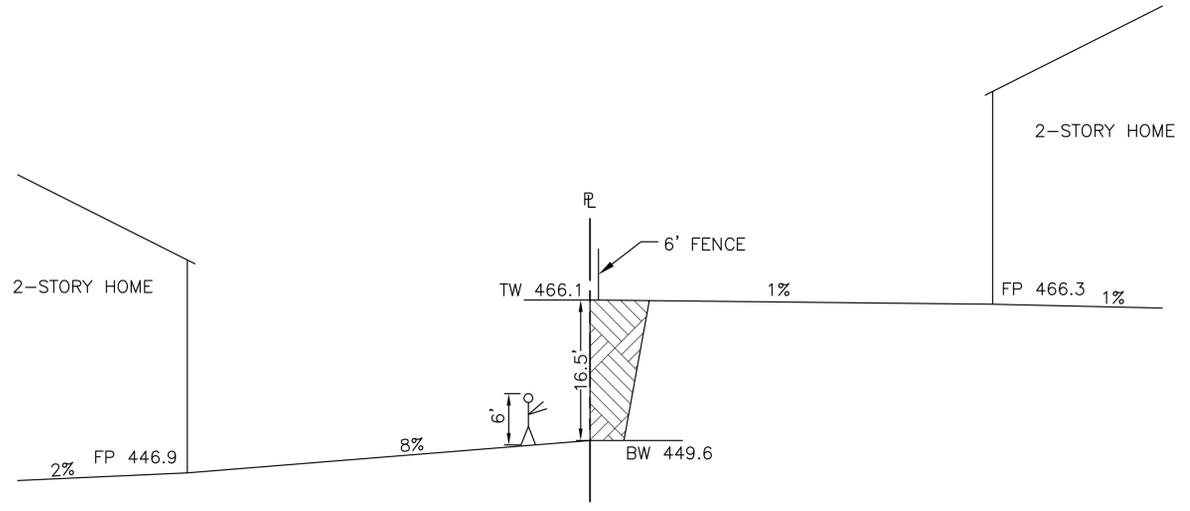
**TYPE 'A' vs TYPE 'C' DRAINAGE  
GRADING EXHIBIT  
STONEY CREEK TRACT 4**

TOWN OF SUNNYVALE  
DALLAS COUNTY, TEXAS

**DOWDEY, ANDERSON & ASSOCIATES, INC.**  
5225 Village Creek Drive, Suite 200 Plano, Texas 75093 972-931-0694  
STATE REGISTRATION NUMBER: F-399

NO.	DATE	BY	REVISION

DESIGN	DRAWN	CHECKED	DATE	SCALE	JOB	SHEET
TDM	TDM	CWH	02/04/2016	1"=200'	12014-04	1 / 3



A-A  
TYPE "A" DRAINAGE  
TYPICAL SECTION OF REAR YARD WALL  
1"=10'

B-B  
TYPE "C" DRAINAGE  
TYPICAL SECTION OF REAR YARD WALL  
1"=10'

**LEGEND**

PDE = PRIVATE DRAINAGE EASEMENT

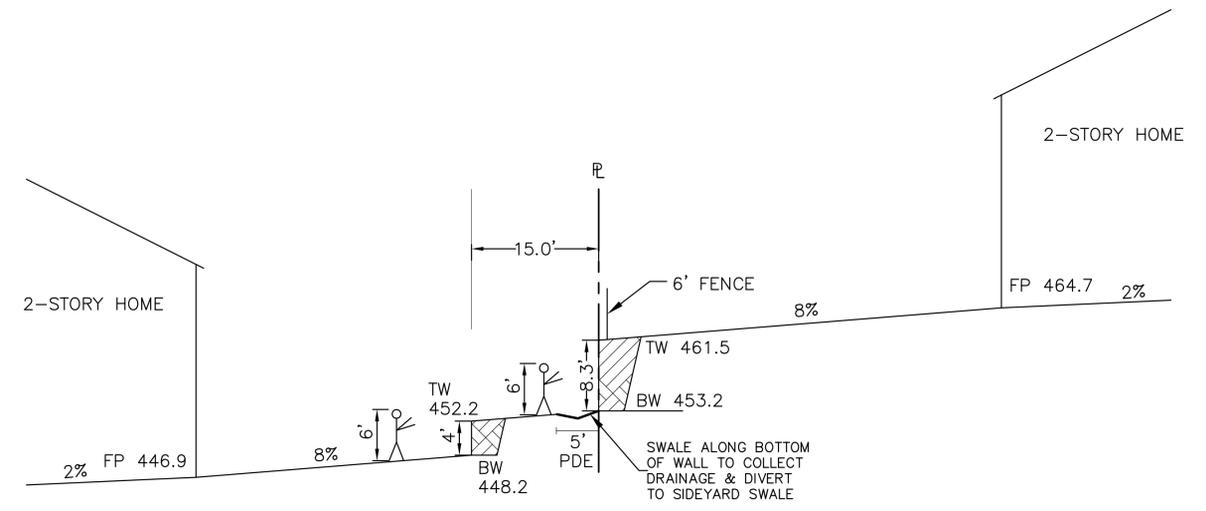
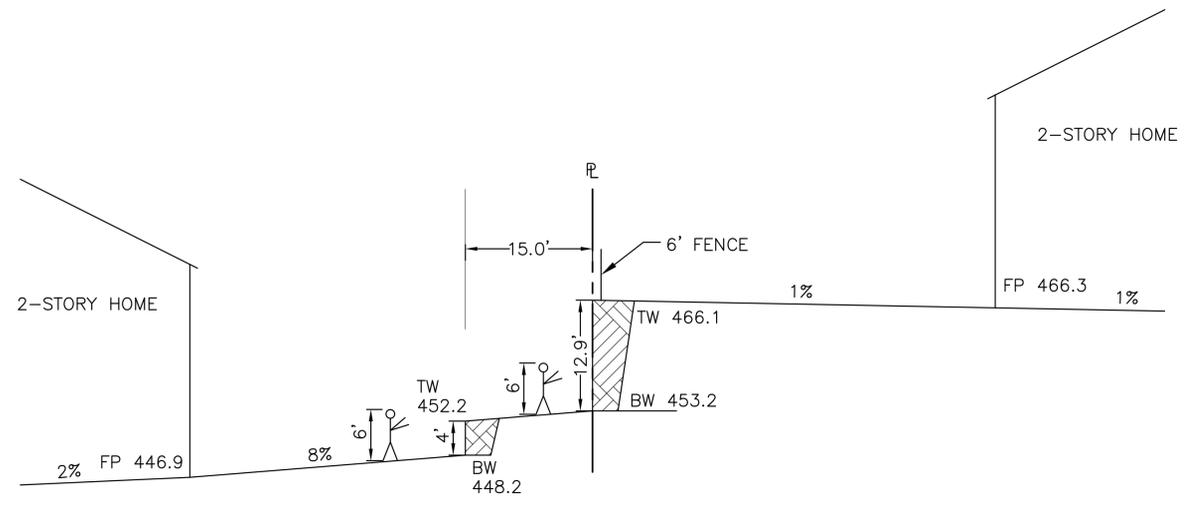
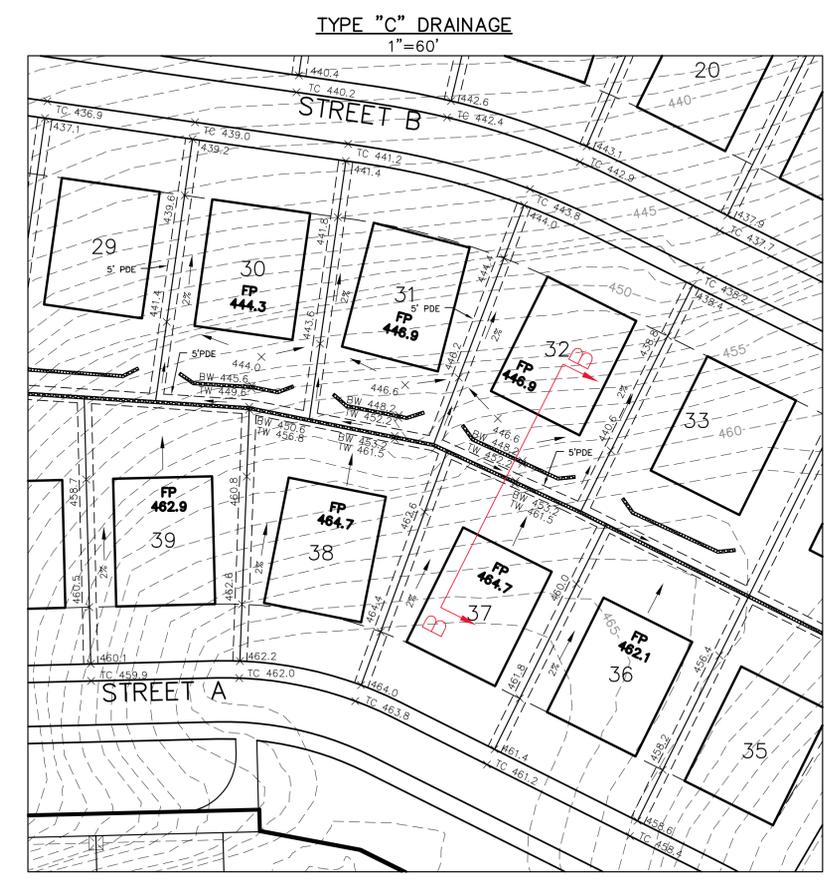
NO.	DATE	BY	REVISION

**TYPE 'A' vs TYPE 'C' DRAINAGE  
WALL AND GRADING EXHIBIT  
STONEY CREEK TRACT 4**

TOWN OF SUNNYVALE  
DALLAS COUNTY, TEXAS

**DOWDEY, ANDERSON & ASSOCIATES, INC.**  
5225 Village Creek Drive, Suite 200 Plano, Texas 75093 972-931-0694  
STATE REGISTRATION NUMBER: F-399

DESIGN	DRAWN	CHECKED	DATE	SCALE	JOB	SHEET
TDM	TDM	CWH	02/04/2016	1"=60'	12014-04	2 / 3



LEGEND

PDE = PRIVATE DRAINAGE EASEMENT

NO.	DATE	BY	REVISION

TYPE 'A' vs TYPE 'C' DRAINAGE  
TIERED WALL AND GRADING EXHIBIT  
STONEY CREEK TRACT 4

TOWN OF SUNNYVALE  
DALLAS COUNTY, TEXAS

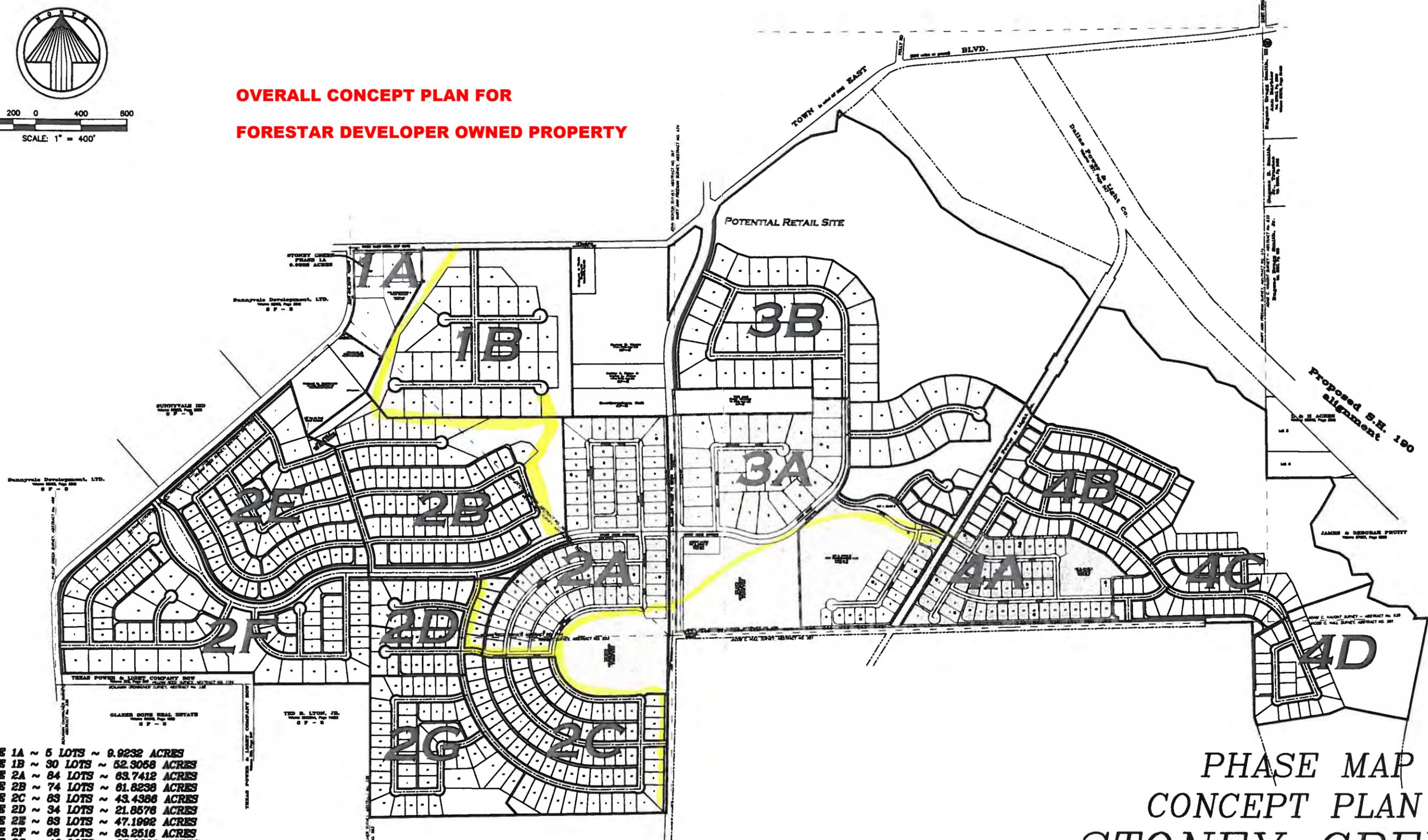
**DOWDEY, ANDERSON & ASSOCIATES, INC.**  
5225 Village Creek Drive, Suite 200 Plano, Texas 75093 972-931-0694  
STATE REGISTRATION NUMBER: F-399

DESIGN	DRAWN	CHECKED	DATE	SCALE	JOB	SHEET
TDM	TDM	CWH	02/04/2016	1"=60'	12014-04	3 / 3



400 200 0 400 800  
SCALE: 1" = 400'

**OVERALL CONCEPT PLAN FOR  
FORESTAR DEVELOPER OWNED PROPERTY**



PHASE 1A	~ 6 LOTS	~ 0.9232 ACRES
PHASE 1B	~ 30 LOTS	~ 52.3058 ACRES
PHASE 2A	~ 84 LOTS	~ 63.7412 ACRES
PHASE 2B	~ 74 LOTS	~ 61.8238 ACRES
PHASE 2C	~ 83 LOTS	~ 43.4386 ACRES
PHASE 2D	~ 34 LOTS	~ 21.8576 ACRES
PHASE 2E	~ 83 LOTS	~ 47.1892 ACRES
PHASE 2F	~ 68 LOTS	~ 63.2516 ACRES
PHASE 2G	~ 48 LOTS	~ 28.0260 ACRES
PHASE 3A	~ 25 LOTS	~ 57.8844 ACRES
PHASE 3B	~ 50 LOTS	~ 151.8556 ACRES
PHASE 4A	~ 69 LOTS	~ 54.8839 ACRES
PHASE 4B	~ 60 LOTS	~ 38.0406 ACRES
PHASE 4C	~ 86 LOTS	~ 99.2653 ACRES
PHASE 4D	~ 20 LOTS	~ 30.9602 ACRES

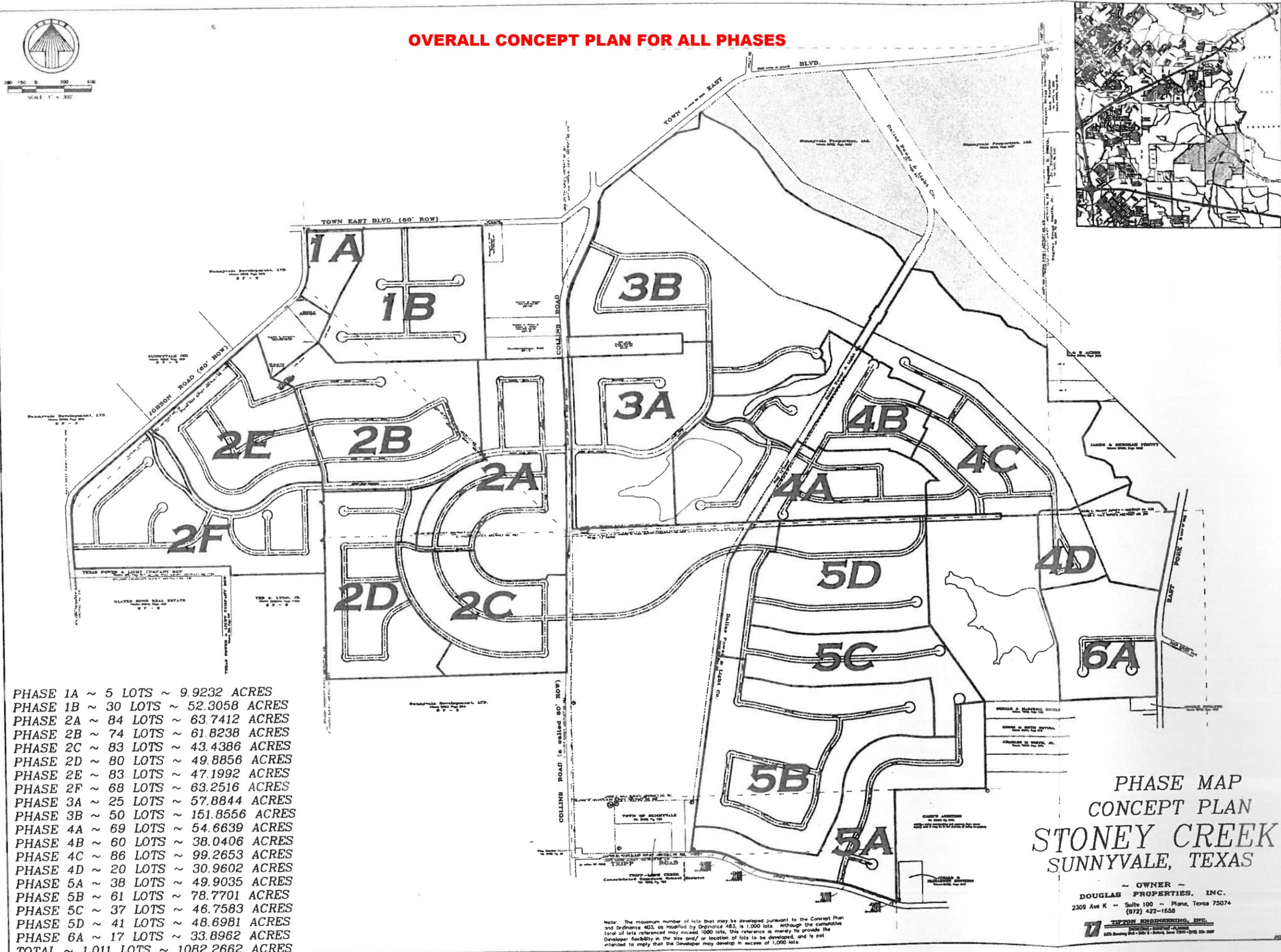
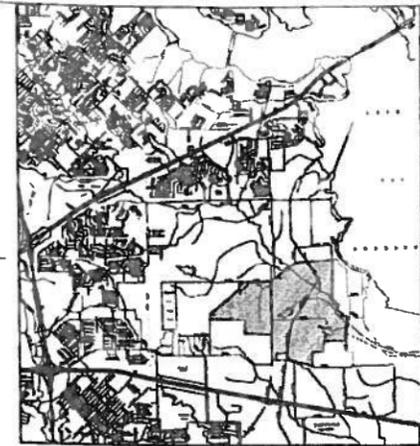
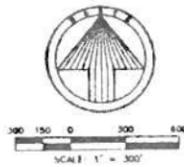
 EXISTING DEVELOPED PHASES

PHASE MAP  
CONCEPT PLAN  
**STONEY CREEK**  
SUNNYVALE, TEXAS

~ OWNER ~  
FORESTAR REAL ESTATE GROUP  
14785 Preston Road ~ Suite 850 ~ Dallas, Texas 75254

**TIPTON ENGINEERING, INC.**  
ENGINEERING • SURVEYING • PLANNING  
5330 Broadway Blvd. • Suite C • Garland, Texas 75043 • (972) 228-2887

**OVERALL CONCEPT PLAN FOR ALL PHASES**



PHASE 1A	~ 5 LOTS	~ 9.9232 ACRES
PHASE 1B	~ 30 LOTS	~ 52.3058 ACRES
PHASE 2A	~ 84 LOTS	~ 63.7412 ACRES
PHASE 2B	~ 74 LOTS	~ 61.8238 ACRES
PHASE 2C	~ 83 LOTS	~ 43.4386 ACRES
PHASE 2D	~ 80 LOTS	~ 49.8856 ACRES
PHASE 2E	~ 83 LOTS	~ 47.1992 ACRES
PHASE 2F	~ 68 LOTS	~ 63.2516 ACRES
PHASE 3A	~ 25 LOTS	~ 57.8844 ACRES
PHASE 3B	~ 50 LOTS	~ 151.8556 ACRES
PHASE 4A	~ 69 LOTS	~ 54.6639 ACRES
PHASE 4B	~ 60 LOTS	~ 38.0406 ACRES
PHASE 4C	~ 86 LOTS	~ 99.2653 ACRES
PHASE 4D	~ 20 LOTS	~ 30.9602 ACRES
PHASE 5A	~ 38 LOTS	~ 49.9035 ACRES
PHASE 5B	~ 61 LOTS	~ 78.7701 ACRES
PHASE 5C	~ 37 LOTS	~ 46.7583 ACRES
PHASE 5D	~ 41 LOTS	~ 48.6981 ACRES
PHASE 6A	~ 17 LOTS	~ 33.8962 ACRES
<b>TOTAL</b>	<b>~ 1,011 LOTS</b>	<b>~ 1082.2662 ACRES</b>

Note: The maximum number of lots that may be developed pursuant to the Concept Plan and Ordinance 403, as modified by Ordinance 483, is 1,000 lots. Although the cumulative total of lots referenced may exceed 1,000 lots, this reference is merely to provide the Developer flexibility in the size and/or location of lots to be developed, and is not intended to imply that the Developer may develop in excess of 1,000 lots.

**PHASE MAP  
CONCEPT PLAN  
STONEY CREEK  
SUNNYVALE, TEXAS**

OWNER  
**DOUGLAS PROPERTIES, INC.**  
2309 Ave K - Suite 100 - Plano, Texas 75074  
(972) 422-1558

**TIPTON ENGINEERING, INC.**  
2202 Broadway Blvd - Suite 2 - Dallas, Texas 75201-1943 214-347-2000



**Notice of Application for  
Tentative Development Plan  
Town of Sunnyvale  
Planning & Zoning Commission**

The Town of Sunnyvale has received a request from Colin Helffrich, P.E. for a tentative development plan approval of Stoney Creek – Tract 4 (4B, 4C, 4D). The request will allow for the review of additional proposed phases of the Stoney Creek subdivision. The location of the property is shown on the attached exhibit.

The Planning and Zoning Commission will review this application on Monday, March 21, 2016 and the Town Council will consider the application on either Monday, March 28, 2016 or Monday, April 11, 2016. The hearings will be conducted in open session at Town Hall, 127 Collins Road at 7:00 P.M. If you have comments on this application, you may present them in person at these meetings or may submit written comments at any time on or before date of the hearings.

The tentative development plan application and supporting documents are on file at Town Hall and may be examined at no charge. For further information contact Rashad Jackson, Director of Development Services at (972) 203-4103 or [rashad.jackson@townofsunnyvale.org](mailto:rashad.jackson@townofsunnyvale.org).

I am in favor of the tentative development plan

I am opposed to the tentative development plan

Explanation:

*The increase in homes and roads will increase the amount of water into Duck Creek. Since you are not doing anything to improve water flow I am against this.*

Signature:

*Bill Parker*

Printed Name:

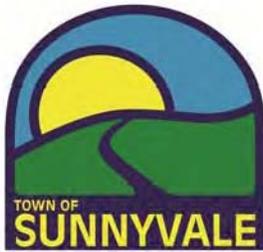
*BILL Parker*

Address:

*309 E. Fork Rd*

Date:

*3-23-16*



# Town of Sunnyvale

March 28, 2016

Prepared By: Rashad Jackson, AICP  
Director of Development Services

## Summary:

**APPLICANT:** TOWN OF SUNNYVALE

**REQUEST:** AN ORDINANCE AMENDING ZONING ORDINANCE NO. 324 DULY PASSED BY THE TOWN COUNCIL ON JANUARY 31, 2000; AS AMENDED FROM TIME TO TIME; SO AS TO CHANGE BY ADOPTION OF AMENDMENTS TO THE TEXT OF THE TOWN'S ZONING ORDINANCE INCLUDING WITHOUT LIMITATION, CHANGES TO CHAPTER 19.7 TEMPORARY USES; AND ADDING REGULATIONS FOR MOBILE FOOD STAND AND MOBILE FOOD TRUCK PROVIDING AN EFFECTIVE DATE; PROVIDING FOR PENALTIES; AND PROVIDING A SEVERABILITY CLAUSE.

## Background

Direction was provided to Town staff to propose an amendment to the zoning ordinance to include provisions for mobile food vendors. Town Staff has prepared such an amendment for review and consideration by the Planning & Zoning Commission and Town Council.

Currently the Town has no regulations for mobile food vendors. At one time there was a "sales from temporary facilities" category under Section 19.7 Temporary Uses in the zoning ordinance which allowed for temporary food and miscellaneous retail sales. In 2013, the "sales from temporary facilities" category was removed as part of an overall amendment to the zoning ordinance. Staff assumes that the temporary sales use was removed in order to restrict the opportunities for miscellaneous "back of the pickup truck type sales" throughout the Town. The removal of the "sales from temporary facilities" category restricted the miscellaneous sales but subsequently it also restricted the opportunity for mobile food vendor sales such as snow cone stands, construction catering trucks and mobile food trucks.

Town staff has received requests for the approval of snow cone stands as well as food trucks (for special events such as Sunnyfest). At this time, these particular uses are being permitted but without appropriate regulations in place. Staff has proposed an amendment that would allow for snow cone stands and other mobile food vendors within the Town limits. Staff has reviewed other city ordinances and established an amendment that suits Sunnyvale development standards. Town staff is not requiring any more regulation than what would be typically required to receive a permit from other cities. The proposed amendment and process would legally allow for the proposed mobile food vendor uses and implement a Town application and review process. The proposed amendment would allow for mobile food vendors only. Any other temporary sales would not be allowed. Town staff has proposed a

more appropriate application process which would involve not only Dallas County Health but also our Town departments for review of applications. An example application fee list is included with this staff memo. The proposed guidelines for approval of a mobile food stand permits and mobile food truck permits are noted below.

**Proposed Guidelines for Mobile Food Stands**

- Application fee of \$175
- If for special event, fee of \$100
- Only allowed in non residential zoning districts EXCEPT when associated with a special event.
- No more than one (1) mobile vendor allowed on a lot or parcel EXCEPT when associated with a special event. A mobile vendor is not allowed on a vacant lot.
- Vendor must request a specific time period and note proposed food to be sold.
- A health permit is required. Must meet all requirements and pass Dallas County Health Service inspection.
- Permit application must include a site plan, showing the fire lane and proposed location of mobile food stand.
- Kiosks, trailers and mobile vendor trucks must meet all applicable building code requirements, health code requirements and zoning ordinance requirements.
- Mobile vendors may be located in a parking lot of a separate business or group of businesses but must provide a letter of permission from the property owner allowing use of the restroom facilities by the employees and patrons of the mobile vendor.
- Vendor, including all related appurtenances thereto, must be located outside of any required parking spaces for the businesses occupying permanent structures on and about the property on which the mobile unit is situated and outside of any and all fire lanes.
- No alcohol sales allowed.

**Proposed Guidelines for Mobile Food Trucks**

- Application fee of \$350
- If for special event, fee of \$100
- A valid drivers license, insurance and registration is required.
- Only allowed in non residential zoning districts EXCEPT when associated with a special event or providing construction site lunch service.
- No more than one (1) mobile vendor allowed on a lot or parcel EXCEPT when associated with a special event. A mobile vendor is not allowed on a vacant lot.
- Vendor must note proposed food to be sold.
- A health permit is required. Must meet all requirements and pass Dallas County Health Service inspection.

- Mobile vendor trucks must meet all applicable building code requirements, health code requirements and zoning ordinance requirements.
- Mobile vendors may be located in a parking lot of a separate business or group of businesses but must provide a letter of permission from the property owner allowing use of the restroom facilities by the employees and patrons of the mobile vendor.
- Mobile vendor trucks may not operate stationary in a single location for more than five (5) consecutive days; more than eight (8) hours/day. All vending units must be removed from the point of sale each day and may not remain parked at the point of sale overnight.
- No drive thru's permitted.
- Music shall be allowed as long as it does not violate Town noise ordinance.
- No alcohol sales allowed.
- Permits are valid for one (1) year and expire annually on December 31<sup>st</sup>.

### **Current costs**

The Town currently uses the Dallas County Health permit fee as a base line for a food vendor/restaurant permit application. The fees are as follows.

- Dallas County Health charges a flat fee of \$75 for any health permit inspection.
- For non special event inspections (restaurants, etc.), the Town charges \$175.
- For special events, the Town charges \$85.
- For Town-sponsored special events (Sunnyfest), the Town charges \$50. The Town is still charged \$75 for the Dallas County health inspection.
- A health inspection approval lasts for an entire year for all non special event inspections. For special events, such as Sunnyfest, the health inspection approval is for the specific event time period.

Town staff notes that there are multiple ways in which mobile food vendors can be regulated. Staff has presented a proposal and is seeking direction from Planning & Zoning and Town Council for any changes they feel are appropriate.

### **Public Notice**

Public notice was provided to the Town's Official Newspaper for publication on March 2, 2016. Given that this is a text amendment initiated by the Town, which does not specifically affect one property, written letters were not provided to specific property owners.

### **Planning & Zoning Commission Recommendation – 3/21/16**

Chairman Demko called for a motion. Commissioner Sandler made a motion to approve the request with the Commission changes. Commissioner Moss seconded. Chairman Demko called for a vote, the item passed unanimously.

### **Staff Recommendation**

Town Staff is seeking direction and final approval.

**Attachments**

Proposed Ordinance

Fee Examples

**TOWN OF SUNNYVALE, TEXAS  
ORDINANCE 16-08**

**AN ORDINANCE AMENDING ZONING ORDINANCE NO. 324 DULY PASSED BY THE TOWN COUNCIL ON JANUARY 31, 2000; AS AMENDED FROM TIME TO TIME; SO AS TO CHANGE BY ADOPTION OF AMENDMENTS TO THE TEXT OF THE TOWN'S ZONING ORDINANCE INCLUDING WITHOUT LIMITATION, CHANGES TO CHAPTER 19.7 TEMPORARY USES; AND ADDING REGULATIONS FOR MOBILE FOOD STAND AND MOBILE FOOD TRUCK PROVIDING AN EFFECTIVE DATE; PROVIDING FOR PENALTIES; AND PROVIDING A SEVERABILITY CLAUSE.**

**WHEREAS**, notice of the public hearings was published according to state law; and

**WHEREAS**, the Town Council has received and considered the recommendations of the Planning and Zoning Commission; and

**WHEREAS**, the Town Council hereby finds that it is in the best interest of the Town of Sunnyvale, taking into consideration the public health, safety, and welfare, to adopt amendments to the text of the Zoning Ordinance as set forth herein;

NOW THEREFORE BE IT ORDAINED by the Town Council of the Town of Sunnyvale, Texas:

**SECTION 1.** That the foregoing recitals are found to be true and correct in all respects.

**SECTION 2.** That the text of the Zoning Ordinance, Ordinance No. 324, of the Town of Sunnyvale, Texas (the "Town of Sunnyvale Zoning Ordinance Text") is hereby amended as shown in Exhibit A, which is attached to this Ordinance, and which is incorporated by reference herein as if fully set forth. The proposed zoning amendments, as set forth in Exhibit A attached hereto, are hereby adopted and the Town of Sunnyvale Zoning Ordinance Text is revised accordingly.

**SECTION 3.** That it is the intent of the Town Council that each paragraph, sentence, subdivision, clause, phrase, or section of the ordinance be deemed severable and should any such paragraph, sentence, subdivision, clause, phrase or section be declared invalid or unconstitutional for any reason, such declaration of invalidity or unconstitutionality shall not be construed to affect the validity of those provisions of this ordinance left standing with the validity of any code or ordinance as a whole.

**SECTION 4.** All ordinance and provisions of the Town of Sunnyvale, Texas, that are in conflict with this Ordinance shall be and the same are hereby repealed to the extent in conflict, and all ordinances and provisions or ordinances of said Town not so expressly repealed are hereby retained in full force and effect.

**SECTION 5.** That this ordinance shall not take effect until after fifteen (15) calendar days from the date of its publication and passage by the Town Council.

**PASSED AND APPROVED** by the Town Council, the Town of Sunnyvale, on the 11th day of April, 2016.

---

Mayor Jim Phaup

ATTEST:

---

Leslie Black, Town Secretary

## 19.7 TEMPORARY USES

## EXHIBIT A

- A. Real estate sales offices may be opened temporarily during the development of residential subdivisions in which the office is located until eighty percent (80%) of the building permits of the platted lots in the subdivision are issued.
- B. **Temporary Construction Buildings.** Temporary buildings and temporary building material storage areas to be used for construction purposes, which shall not be occupied, may be permitted for a specific period of time in accordance with a permit issued by the Building Official and subject to periodic renewal by the Official for cause shown. Upon completion or abandonment of construction or expiration of permit, such field offices and buildings shall be removed at the satisfaction of the Building Official.
- C. Concrete batching plants shall be permitted on a temporary basis on the site of construction, and only during the time of construction. The temporary permit shall only be issued for a period of up to six (6) months. The permit may be renewed for up to an additional six (6) months. The permit shall be issued by the Town Administrator by written letter only if it is determined that the temporary batching plant will not have a negative effect on any adjacent use while in operation.
- D. **Temporary Event.** Temporary event shall be allowed in non-residential zoning districts subject to application being approved by the building official. In the event food services are provided in conjunction with event each food provider shall be required to obtain a separate permit in compliance with the Texas food establishment rules (25 TAC 229.167-175). Permits shall be requested 10 days prior to the event Approved event not to exceed 72 hours.

Amended by Ord. No. 13-02 on 1/28/2013

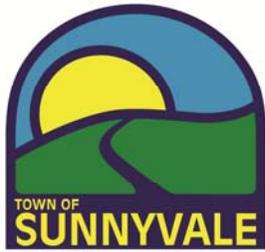
- E. **Mobile Food Stand (food stands, snow cone stand, etc.). Temporary food sales from mobile food stands shall be allowed in non-residential zoning districts subject to permit approval by building official and as required by applicable permit. The temporary permit shall only be issued for a period up to ninety (90) days per calendar year. The permit may be renewed for an additional ninety (90) day period. A temporary mobile food stand permit is required.**

Amended by Ord. No. XX-XX on XX/XX/2016

- F. **Mobile Food Truck (catering truck, mobile food truck). Temporary food sales from mobile food trucks shall be allowed subject to permit approval by building official and as required by applicable permit. Permits are valid for one (1) year and expire annually on December 31st. A mobile food truck permit is required.**

Amended by Ord. No. XX-XX on XX/XX/2016

<b>Comparison of Mobile Food Unit Permit Application Fees From Neighbors</b>		
<b>Arlington</b>	<b>\$500</b>	<b>\$450 Permit + \$50 Inspection</b>
<b>Bedford</b>	<b>\$400 \$100</b>	<b>Mobile Food Unit Fee One day only Mobile Food Unit Fee</b>
<b>Colleyville</b>	<b>*</b>	<b>No Mobile Food Unit Ordinance</b>
<b>Dallas</b>	<b>\$465</b>	<b>\$315 Permit + \$150 Inspection</b>
<b>Eules</b>	<b>\$200</b>	<b>Health License Permit</b>
<b>Fort Worth</b>	<b>\$300</b>	<b>\$200 Permit + \$100 Unit</b>
<b>Grapevine</b>	<b>**</b>	<b>Non-Festival Food Units Are Prohibited</b>
<b>Hurst</b>	<b>\$200</b>	<b>Per Unit</b>
<b>N Richland Hills</b>	<b>\$126</b>	<b>Per Unit</b>
<b>Southlake</b>	<b>\$200</b>	<b>Per Tarrant County Food Program Fee</b>



# Town of Sunnyvale

**Prepared By: Leslie Black**

**Summary:**

**DISCUSS AND CONSIDER FIRST READING OF AN ORDINANCE DECLARING UNOPPOSED CANDIDATES IN THE MAY 7, 2016 GENERAL TOWN ELECTION, ELECTED TO OFFICE; CANCELING THE ELECTION; PROVIDING FOR A SEVERABILITY CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.**

**Background:**

State law provides that a general or special election may be canceled if each candidate for an office that is to appear on the ballot is unopposed. For the 2016 election, both Places 1 and 2 had only one person file for each Place. As such, the Town Council may cancel the election that was previously ordered to be held in May of this year.

**Fiscal Impact:**

The funds previously budgeted for the cost of an election, will be reallocated during the mid-year budget review.

**Staff Recommendation:**

Staff recommends approval.

**ORDINANCE 16-06**

**AN ORDINANCE DECLARING UNOPPOSED CANDIDATES IN THE MAY 7, 2016 GENERAL TOWN ELECTION, ELECTED TO OFFICE; CANCELING THE ELECTION; PROVIDING FOR A SEVERABILITY CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.**

**WHEREAS**, the general town election was called for May 7, 2016, for the purpose of electing members to the Town Council; and

**WHEREAS**, the Town Secretary has certified in writing that no person has made a declaration of write-in candidacy, and that each candidate on the ballot is unopposed for election to office; and

**WHEREAS**, under these circumstances, Subchapter C, Chapter 2, Election Code, authorizes the Town Council to declare the candidates elected to office and cancel the election; **NOW THEREFORE**,

**BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF SUNNYVALE:**

**Section 1.** The following candidates, who are unopposed in the May 7, 2016, general town election, are declared elected to office, and shall be issued certificates of election following the time the election would have been canvassed:

Place 1: Kara Ranta  
Place 2: Saji George

**Section 2.** The May 7, 2016 general town election is cancelled, and the Town Secretary is directed to cause a copy of this ordinance to be posted on election day at each polling place used or that would have been used in the election.

**Section 3.** It is declared to be the intent of the Town Council that the phrases, clauses, sentences, paragraphs, and sections of this ordinance are severable, and if any phrase, clause, sentence, paragraph, or section of this ordinance is declared invalid by the judgment or decree of a court of competent jurisdiction, the invalidity shall not affect any of the remaining phrases, clauses, sentences, paragraphs, or sections of this ordinance since the Town Council would have enacted them without the invalid portion.

**Section 4.** This ordinance shall take effect upon its final passage, and it is so ordained.

Introduced and read at the Town Council meeting on March 14<sup>th</sup>, 2016.

**PASSED AND APPROVED BY THE TOWN COUNCIL ON THIS 28<sup>th</sup> DAY OF MARCH, 2016.**

APPROVED:

By: \_\_\_\_\_  
Jim Phaup, Mayor

ATTEST:

\_\_\_\_\_  
Leslie Black, Town Secretary

## ORDINANCE 16-06

**ORDENANZA DECLARANDO CANDIDATOS SIN OPOSICIÓN EN LOS 7 DE MAYO DE, 2016, CIUDAD GENERAL ELECCIÓN, ELEGIDO PARA UN CARGO; CANCELACIÓN DE LA ELECCIÓN; PROPORCIONAR UNA CLÁUSULA DE SEPARACIÓN; Y PROPORCIONAR UNA FECHA EFECTIVA.**

**POR CUANTO**, la elección de la ciudad en general fue llamado para el 7 de mayo de, 2016, con el propósito de elegir a los miembros del Consejo de Ciudad; y

**POR CUANTO**, el Secretario Town ha certificado por escrito que ninguna persona ha hecho una declaración de candidatura de escritura-en, y que cada candidato en la papeleta es sin oposición para la elección de cargos; y

**POR CUANTO**, bajo estas circunstancias, subcapítulo C, Capítulo 2, Código de Elecciones, autoriza al Ayuntamiento para declarar los candidatos electos a la oficina y cancelación de la elección; **AHORA, POR TANTO**,

**SEA ORDENADO POR LA CIUDAD COUNIL DE LA CIUDAD DE SUNNYVALE:**

**Sección 1.** Los siguientes candidatos, que son sin oposición en el número de mayo 7, 2016, elección general de la ciudad, se declararán elegidos a la oficina, y se expedirá certificados de elección después de la hora de la elección habría sido sondeado:

Coloca 1: Kara Ranta  
Coloque 2: Saji George

**Sección 2.** Los 7 de mayo de, 2016, la elección de la ciudad en general se cancela, y el Secretario de Ciudad está dirigida a causar una copia de esta ordenanza que se publicó, el día de la elección en cada lugar de votación utilizado o que se habría utilizado en la elección.

**Sección 3.** Se declara que la intención del Ayuntamiento de que la frases, cláusulas, frases, párrafos y secciones de esta ordenanza son separables y, si cualquier frase, cláusula, oración, párrafo o sección de esta ordenanza se declara invalidados mediante la sentencia o decreto de un tribunal de jurisdicción competente, la invalidez no afectará a ninguna de las frases, cláusulas, oraciones, párrafos o secciones restantes de esta ordenanza ya que el Ayuntamiento les habría promulgado sin la parte inválida.

**Sección 4.** Esta ordenanza comenzará a regir a partir de su aprobación final, y es tan ordenado.

Introducido y leer en la reunión del Ayuntamiento el 14 de marzo de 2016.

**Y APROBADO POR EL CONSEJO DE LA CIUDAD EN ESTE DÍA 28 DE MARZO DE 2016.**

APPROVED:

By: \_\_\_\_\_  
Jim Phaup, Mayor

ATTEST:

\_\_\_\_\_  
Leslie Black, Town Secretary

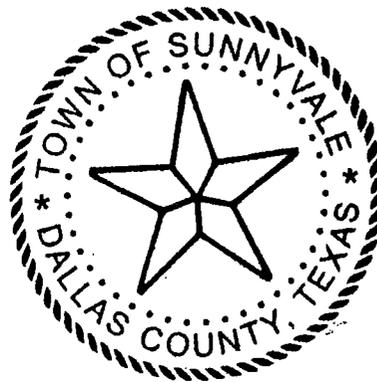
**Certification of Unopposed Candidates  
By the Town Secretary**

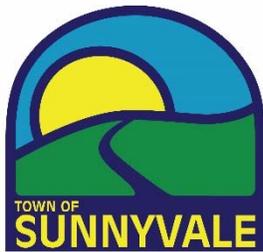
I, Leslie Black, certify that I am the Town Secretary of the Town of Sunnyvale and the authority responsible for preparing the ballot for the May 7, 2016, Town election. I further certify that no person has made a declaration of write-in candidacy, and all of the following candidates are unopposed:

Place 1: Kara Ranta  
Place 2: Saji George

  
\_\_\_\_\_  
Leslie Black, Town Secretary  
Town of Sunnyvale

Dated this 23<sup>rd</sup> day of February, 2016.





# Town of Sunnyvale

Prepared By: Sean P. Fox

**Summary:**

**DISCUSS AND CONSIDER APPROVING MODIFICATIONS OF EXISTING COLUMN AT TOWN HALL ENTRANCE.**

**Background & Analysis:**

The stone columns on either side of the Town hall entry drive have provided an impressive architectural element and stately appearance to the property for many years, but the design does not aid or help residents and visitors identify it as the entrance to Town Hall. Staff continually receives complaints and comments about being unable to easily identify the entrance from Collins Road.

Previously, Council considered a recommendation to install a marquee type sign, but the design was not in keeping with the desired impression for the community and the Town Hall building and therefore, it wasn't approved.

Staff has worked with Boroughs Sign Company to redesign the north column, extending it perpendicular towards Collins Road approximately 12 feet. The new design allows for a name and address placard to be installed on each side of the raised planting bed walls, making identification of the entrance easier from both the north and the south. The design also incorporates ground lighting from both sides for visibility at night. The new design does not conflict with the expansion of Collins Road.

**Financial Impact:**

The cost to modify existing column and install both placards and lights is \$5,200.00.

**Staff Recommendation:**

Staff recommends approval.

**Attachment:**

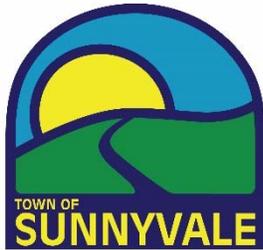
Pictures

**TOWN HALL  
127 COLLINS**





**TOWN HALL  
127 COLLINS**



# Town of Sunnyvale

Prepared By: Sean P. Fox

**Summary:**

**DISCUSS AND CONSIDER AUTHORIZING THE TOWN MANAGER TO NEGOTIATE FEES AND MEMORIALIZE AN ENGAGEMENT LETTER FOR THE SERVICES OF J. D. DODD LAW TO SERVE AS THE TOWN'S LEGAL COUNSEL.**

**Background & Analysis:**

In July 2015, Council engaged the services of Nichols, Jackson, Dillard, Hager & Smith as the Town's legal counsel. NJDHS assigned J. David Dodd as the principal, and he has been favorably acting as the Town Attorney since that time.

Earlier this month, Mr. Dodd informed the Town he was leaving NJDHS, under amicable conditions, to establish his own practice under the name J. D. Dodd Law. Mr. Dodd's preference is to continue to act as the Town's legal counsel.

**Financial Impact:**

None

**Staff Recommendation:**

Staff recommends authorizing the Town Manager to negotiate fees and execute an engagement letter for the services of J. D. Dodd Law to serve as the Town's legal counsel.

**Attachment:**

None

# JD Dodd Law, PC

Re: Engagement letter

Dear Sean,

I am writing to confirm the engagement terms for David Dodd and JD Dodd Law, PC serving as Town Attorney for the Town of Sunnyvale. I have described the rates and fees in the following sections:

## **Hourly rates**

The firm rate is \$170.00 per hour billed in .25 hour increments.

## **Travel expenses**

The firm charges mileage at the current IRS rate. The current IRS rate is 57.5 cents per mile. If we are required to travel out of the metroplex for the Town of Sunnyvale the costs will be the actual costs and discussed with Town Administration before incurring the expenses.

## **Pass through costs**

Costs such as courier services, exhibit preparation and copies will be passed through to the town at the actual amount. No administrative costs will be added.

Thank you for your attention to this matter. Please feel free to contact me with any questions

Sincerely,

J. David Dodd III

110 W Sandy Lake Rd., Suite 102, Coppell, TX 75019