



**AGENDA
TOWN OF SUNNYVALE
PLANNING AND ZONING COMMISSION
MONDAY, JUNE 20, 2016
TOWN HALL - COUNCIL CHAMBERS
127 N. COLLINS RD.
7:00 P.M.**

CALL MEETING TO ORDER

Planning and Zoning Commission Chairperson calls the Meeting to order, state the date and time. State Commissioners present and declare a quorum present.

1. APPROVAL OF MINUTES FOR 5/16/2016 REGULAR MEETING

PUBLIC HEARING

Open or continue public hearing, consider testimony and other information provided, close public hearing, and take necessary action with respect to the following:

- 2. APPLICANT: JOHN ARNOLD - SKORBURG DEVELOPMENT
AT OR ABOUT: NE QUADRANT OF THE INTERSECTION OF TRIPP
RD AND JOBSON RD (83.06 ACRES)
REQUEST: TO CHANGE THE TOWN'S COMPREHENSIVE
PLAN AND LAND USE DIAGRAM FROM ESTATE
RESIDENTIAL (ER) TO LOW DENSITY
RESIDENTIAL (LDR) AND THE ZONING MAP
FROM SINGLE FAMILY 3 (SF-3) & SINGLE FAMILY
2 (SF-2) TO SINGLE FAMILY 3 – PLANNED
RESIDENTIAL OVERLAY (SF-3-PRO)**
- 3. APPLICANT: BILL DOUGLASS
AT OR ABOUT: 224 S. COLLINS ROAD – TOWER CONVENIENCE
STORE
REQUEST: CONDITINAL USE PERMIT FOR TRUCK LEASING
–EXCLUDING SEMI - TRUCK AND HEAVY LOAD**
- 4. APPLICANT: BILL FOOSE
AT OR ABOUT: 2718 BELT LINE ROAD APPROX. 11.53 ACRES
REQUEST: SITE PLAN**
- 5. APPLICANT: BILL FOOSE
AT OR ABOUT: 2718 BELT LINE ROAD APPROX. 11.53 ACRES
REQUEST: PRELIMINARY PLAT – BELT LINE VENTURE
ADDITION, LOTS 1 & 2, BLOCK A**

6. APPLICANT: BILLY DUCKWORTH
AT OR ABOUT: 323 BARNES BRIDGE ROAD
REQUEST: PRELIMINARY PLAT – SNEED ADDITION, LOT 1,
BLOCK A

7. APPLICANT: DALE HOELTING – DEH CONSULTING, LTD.
AT OR ABOUT: 182 S. COLLINS ROAD APPROX 4.11 ACRES
REQUEST: REPLAT – SUNNYVALE COLLINS RETAIL, LOTS
1R, 2R & 3R, BLOCK A

ADJOURN

ALL LOCATIONS IDENTIFIED ARE IN THE TOWN OF SUNNYVALE UNLESS OTHERWISE INDICATED. FOR A DETAILED PROPERTY DESCRIPTION, PLEASE CONTACT THE BUILDING OFFICIAL AT TOWN HALL. ALL ITEMS ON THE AGENDA ARE FOR POSSIBLE DISCUSSION AND ACTION. PLEASE TURN OFF ALL TELEPHONES AND HANDHELD COMMUNICATION DEVICES WHILE IN ATTENDANCE AT THIS MEETING. MEMBERS OF THE PUBLIC ARE REQUESTED TO LIMIT THEIR COMMENTS, WHETHER AT THE PUBLIC FORUM OR DURING A PUBLIC HEARING, TO NO MORE THAN FIVE (5) MINUTES.

THE SUNNYVALE PLANNING AND ZONING COMMISSION RESERVES THE RIGHT TO ADJOURN INTO EXECUTIVE SESSION AT ANY TIME DURING THE COURSE OF THIS MEETING TO DISCUSS ANY OF THE MATTERS LISTED ABOVE, AS AUTHORIZED BY TEXAS GOVERNMENT CODE SECTION 551.071 (CONSULTATION WITH ATTORNEY), 551.072 (DELIBERATION ABOUT REAL PROPERTY), 551.073 (DELIBERATIONS ABOUT GIFTS AND DONATIONS), 551.074 (PERSONNEL MATTERS), 551.076 (DELIBERATIONS ABOUT SECURITY DEVICES), AND 551.086 (ECONOMIC DEVELOPMENT).

THE TOWN OF SUNNYVALE IS COMMITTED TO COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA). REASONABLE ACCOMMODATIONS AND EQUAL ACCESS TO COMMUNICATIONS WILL BE PROVIDED TO THOSE WHO PROVIDE NOTICE TO THE DIRECTOR OF COMMUNITY SERVICES AT 972-226-7177 AT LEAST 48 HOURS PRIOR TO THE MEETING.

THE FOREGOING NOTICE WAS POSTED IN THE FOLLOWING LOCATIONS:

SUNNYVALE ISD 417 E. TRIPP ROAD
SUNNYVALE LIBRARY AT 402 TOWER PLACE

I HEREBY CERTIFY THAT THE FOREGOING NOTICE WAS POSTED ON JUNE 17, 2016 IN THE FOLLOWING LOCATIONS AND REMAINED SO POSTED CONTINUOUSLY FOR AT LEAST 72 HOURS PRECEDING THE SCHEDULED TIME OF SAID MEETING:

TOWN HALL AT 127 N. COLLINS ROAD

LESLIE BLACK, TOWN SECRETARY

**MINUTES
TOWN OF SUNNYVALE
PLANNING AND ZONING COMMISSION
MONDAY, MAY 16, 2016
TOWN HALL - COUNCIL CHAMBERS
127 N. COLLINS RD.
7:00 P.M.**



CHAIRPERSON	KEN DEMKO - ABSENT
CO-CHAIRPERSON	ANTHONY OKAFOR
COMMISSIONER	JOHN PEASE
COMMISSIONER	SHINEY DANIEL
COMMISSIONER	JOSH SANDLER
COMMISSIONER	RAY VANEK
COMMISSIONER	KING MOSS
ALTERNATE COMMISSIONER	SARAH MITCHELL - ABSENT
ALTERNATE COMMISSIONER	DON KLINE

CALL MEETING TO ORDER

Meeting called to order at 7:00 p.m.

1. APPROVAL OF MINUTES FOR 4/18/2016 REGULAR MEETING

Commissioner Sandler made a motion, seconded by Commissioner Vanek, to approve the Regular Meeting Minutes. Co-Chair Okafor called for a vote, and with all members voting affirmative, the motion passed unanimously.

PUBLIC HEARING

Open or continue public hearing, consider testimony and other information provided, close public hearing, and take necessary action with respect to the following:

2. APPLICANT:	TERESA MYERS – LAND RESOLUTIONS, INC.
AT OR ABOUT:	320 TOWN EAST BLVD. (7.4 ACRES)
REQUEST:	FINAL PLAT – HAWKINS ESTATES, LOT 1 BLOCK 1

Director Jackson presented the item.

“The applicant is the representative for a residential property located at or about 320 Town East Blvd. The parcel of land is approximately 7.4 acres. The property is surrounded by a residential property to the east, The Homestead Phase 2D-S to the south and the future phase of The Homestead Phase 7 to the west. The applicant proposes to plat the subject lot for the development of a single residence. The property is zoned for residential development. The applicant has established the necessary easements, setbacks and buffers required for the development of the subject lot. The applicant received preliminary plat approval in March 2016.”

Public Hearing – open

No comments

Public Hearing – closed

Commissioner Daniel made a motion to approve the request as submitted, seconded by Commissioner King. Co-Chair Okafor called for a vote, and with all members voting to approve, the motion passed unanimously.

- 3. APPLICANT: JOHN ARNOLD - SKORBURG DEVELOPMENT**
AT OR ABOUT: 3134 N BELT LINE RD – 34.27 ACRES NEAR SE
QUADRANT OF THE INTERSECTION OF
BELTLINE RD AND TOWN EAST BLVD
REQUEST: TO CHANGE THE TOWN'S COMPREHENSIVE
PLAN AND LAND USE DIAGRAM FROM RETAIL
(R) TO URBAN DENSITY RESIDENTIAL (UDR)
AND THE ZONING MAP FROM LOCAL RETAIL
(LR) TO ATTACHED HOUSING – PLANNED
RESIDENTIAL OVERLAY (AH-PRO) (CYPRESS
MANORS)

Director Jackson presented the item.

John Arnold spoke on behalf of the request. He noted the changes that were made to a previous application. He presented a power point of the changes. He noted the main change was with regard to lot size. The lot width was increased from 60' wide to 70' wide.

Public Hearing – open

Rick Roebuck, 362 Town East Blvd, Sunnyvale, Tx. spoke against the request. He noted his concerns with the proposed size of the homes and their price points.

Thomas Kovan, 355 Town East Blvd, Sunnyvale, Tx. spoke against the request. He noted concerns with safety, possible increased traffic and the density of the development.

Lance Fauber, 206 Stonegate Lane, Sunnyvale, Tx. spoke against the request. He noted he was opposed to the proposed front entry garages. He stated he would prefer to see homes with a higher price point.

Leann Williams, 321 Overdale Court, Sunnyvale, Tx. spoke against the request. She noted the conflict of the request with the proposed comprehensive plan for the subject area. She noted that the proposed development did not have appropriate amenities for the residents. She did not feel the development was needed.

Bruce Joyner, 289 Old Mill Road, Sunnyvale, Tx. spoke against the request. He suggested that the development be designed as a retirement community.

Faye Neighbors, 326 New Hope Road, Sunnyvale, Tx. spoke against the request. She noted concerns with home values, traffic and increased school population.

Public Hearing - Closed

John Arnold spoke, he responded to issues in regards to home price and size of homes proposed.

Commissioner Pease asked how few houses could be developed and it still be economically feasible?

Mr. Arnold stated it would come down to what the owner purchased the land for and what kind of profit he would want. He noted that they were already at the lowest number of homes.

Commissioner Daniel asked what was the square footage of the homes shown on the PowerPoint presentation?

Mr. Arnold stated that square footage ranged from 2200 – 3600 square feet.

Discussion was had amongst the applicant and commission with regard to parking and home square footage.

Commissioner Okafor noted his concerns with the development being an entry into Sunnyvale. He also noted concerns with property values and the continued maintenance of the proposed development.

Commissioner Sandler asked how many times the applicant presented the development before the commission.

Mr. Arnold stated 3 or 4 times.

Commissioner Sandler noted he was not in support of tabling the item again.

Discussion was had amongst the applicant and commission with regard to the tabling request and addressing the proposed development concerns.

Commissioner Moss made a motion to deny the zone change request, seconded by Commissioner Okafor. Co-chair Okafor called for a vote, and with all members voting to deny, the motion passed unanimously.

- | | |
|----------------------|---|
| 4. APPLICANT: | JOHN ARNOLD - SKORBURG DEVELOPMENT |
| AT OR ABOUT: | NE QUADRANT OF THE INTERSECTION OF TRIPP RD AND JOBSON RD (83.06 ACRES) |
| REQUEST: | TO CHANGE THE TOWN'S COMPREHENSIVE PLAN AND LAND USE DIAGRAM FROM ESTATE RESIDENTIAL (ER) TO LOW DENSITY RESIDENTIAL (LDR) AND THE ZONING MAP FROM SINGLE FAMILY 3 (SF-3) & SINGLE FAMILY 2 (SF-2) TO SINGLE FAMILY 3 – PLANNED RESIDENTIAL OVERLAY (SF-3-PRO) |

Director Jackson presented the item.

"This proposed development is a revised submittal of a previously denied zone change request. A previous version of this request was denied by the Planning & Zoning Commission at the meeting held on

March 21st, 2016. The Town of Sunnyvale zoning ordinance stipulates, “whenever any development application is denied... an application for development permit for all or a part of the same property shall not be considered for a period of one (1) year from the date of denial unless the subsequent application involves a proposal that is materially different from the previously denied proposal.” It was determined by our Town attorney that this revised request would qualify as materially different due to its adherence with the base zoning districts 1 acre requirement. Staff notes that the new application meets the 1 acre requirement of the SF-2 and SF-3 zoning district but does not meet the base development standards of the zoning ordinance.”

John Arnold spoke on behalf of the request. He stated the reasoning behind the revised request and noted the details of the new 1 acre lot proposal. The applicant presented a power point. He noted that he would like to table the request after receiving feedback from the commission.

Commissioner Vanek asked how did the applicant get the economics to work with 1 acre lots.

Mr. Arnold stated that their company had an in-house building company and contractors. He noted that his company was also good at value engineering.

Commissioner Vanek asked the price point and builders.

Mr. Arnold noted Windsor and Paul Taylor would be the builders and the price point would be 300,000 to 400,000.

Commissioner Vanek noted his concerns with the FEMA approval for the flood impacted lots.

Mr. Arnold stated he was confident that they could work through the FEMA process to create buildable lots near the floodplain area.

Commissioner Okafor asked how far the trail extended to the north of the property.

Mr. Arnold showed the connection and noted that the trail would adhere to the Town Open Space Plan.

Discussion was had amongst the commission and applicant with regard to FEMA and the Town Open Space Trails.

Commissioner Daniel noted concerns with parking along Jobson road. She noted the difficulty parking along a street with an open swale and no sidewalks.

Mr. Arnold stated that he assumed that the homes along that roadway would likely have circle driveways. He noted the parking would be off the road.

Public Hearing – Open

Christine Gunter, 318 East Tripp Road, Sunnyvale, Tx. noted her concerns with the development. She noted issues with the proposed drainage, berms, driveways and increased traffic.

Debbie Geis, 112 Sunview, Sunnyvale, Tx. noted her concerns with the existing drainage in the area and the flow from The Homestead development. She noted her concerns with adding concrete to the area.

John Noster, 120 Lakeview Drive, approved of the overall design of the development except for the lots directly accessing Tripp and Jobson Road. He also noted concerns with the long term maintenance of the pond, open space and open swale drainage.

Lance Fauber, 206 Stonegate Lane, Sunnyvale, Tx. noted his concerns with berms along Tripp and Jobson Road and the proposed direct access driveways.

Janice Bell, 247 Mansfield, Sunnyvale, Tx. noted the emotional ties to the property. She stated she was for a development that maintained the existing horse pasture.

Leann Williams, 321 Overdale Court, Sunnyvale, Tx. asked the applicant to clarify how far north the trail would extend to the north.

Mr. Arnold show the resident were the trail would stop. It would adhere to the planned connection noted on the town master plan.

Public Hearing - Closed

Commissioner Moss made a motion to table the request to the next meeting, seconded by Commissioner Vanek. Co-chair Okafor called for a vote, the motion passed 4-2.

ADJOURN

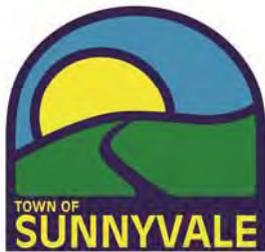
Meeting adjourned at 9:01 p.m.

The undersigned presiding officer certifies that this is a true and correct record of the proceedings.

Anthony Okafor, Co-chair for Ken Demko, Chair

ATTEST:

Leslie Black, Town Secretary



Town of Sunnyvale

June 20, 2016

Prepared By: Rashad Jackson, AICP
Director of Development Services

Summary:

APPLICANT: JOHN ARNOLD - SKORBURG DEVELOPMENT
AT OR ABOUT: NE QUADRANT OF THE INTERSECTION OF TRIPP RD AND
JOBSON RD (83.06 ACRES)
REQUEST: TO CHANGE THE TOWN'S COMPREHENSIVE PLAN AND
LAND USE DIAMGRAM FROM ESTATE RESIDENTIAL (ER) TO
LOW DENSITY RESIDENTIAL (LDR) AND THE ZONING MAP
FROM SINGLE FAMILY 3 (SF-3) & SINGLE FAMILY 2 (SF-2) TO
SINGLE FAMILY 3 – PLANNED RESIDENTIAL OVERLAY (SF-3-
PRO)

Background

This proposed development is a revised submittal of a previously tabled zone change request. A previous version of this request was tabled by the Planning & Zoning Commission at the meeting held on May 16th, 2016. The applicant has revised the application to address previous concerns noted by staff and the Commission with regard to lot access and open space trails. Staff notes that the new application meets the 1 acre requirement of the SF-2 and SF-3 zoning district but does not meet the base development standards of the zoning ordinance. The applicant has submitted two revised versions of the proposed concept plan. Revisions are noted as follows:

- A concept plan with an off-street drive for lot access along Tripp Road and Jobson Road.
- A concept plan with direct right of way lot access to Tripp Road and Jobson Road.
- Open space trail - trail connections have been revised on both proposed concept plans. A southern trail has been included along Jobson Road. The northern portion of the trail along Jobson Road has been removed. A connection has been made to the interior portions of the development to the north via an easement between lots 18 & 19.

The applicant plans to develop 1 acre lots but has requested variations to the zoning development standards the required setbacks or lot width for 1 acre lots. The applicant has proposed 49 single family residential lots, which range in size from 43,700 sq. ft. to 73,085 sq. ft. The development would have 1 acre lots within the northern portion of the development and 1 acre lots along the southern portion of the development. If allowed, the development would require a zone change to a Planned Residential Overlay (PRO) due to the lot size variations proposed. With a PRO, the developer can request variations from the base zoning district development standards with regard to lot size, dimension and design. The types of uses allowed and performance standards applicable to planned residential developments may vary from the base district with which the planned residential overlay combines.

In order to proceed with the development proposal, the applicant has requested a zone change and comprehensive plan land use amendment.

Location

The property is located within the northeast quadrant of the intersection of Tripp Road and Jobson Road. The property is 83.06 acres in size and is zoned Single Family Residential 2 (SF-2) on the southern portion of the property abutting Tripp Road and Single Family Residential 3 (SF-3) on the northern portion of the property. The property abuts the Sunnyvale Estates development to the west, The Falls development to the east, large single family residential lots to the south, and property owned by Texas Power & Light/Oncor Electric Delivery Company on the north. A portion of the property is located within floodplain; and consists of two existing ponds. Most of the floodplain area would remain undeveloped with the current proposal. There are a number of existing structures located within the southwest corner of the property that would be removed prior to development.

Comprehensive Plan Info

The Comprehensive Plan is the document that provides direction for the development of individual properties, according to the Town's vision. Individual development request should fit into the overall development plan that has been prescribed. The Land Use Diagram shows three different land use designations for the site, Estate Residential (along the south side of the property abutting Tripp Rd), Floodplain (within the middle of the property), and Low Density Residential (north side of the property abutting Jobson Road).

Estate Residential is "characterized by single-family detached homes on large lots. The maximum base density for this land use category is .8 du/a, with a minimum lot size of one acre. In order to retain the rural character of the Town, particularly the views along the major roadways, Estate Residential development should be designed with wide lots providing some separation between homes on adjacent properties. For this reason, the development at base densities should maintain a minimum lot width of 170 feet and a lot depth greater than the lot width. An incentive density of .9 du/a may be permitted if the development project is at least 20 acres, fifteen (15) percent of the subdivision is preserved as open space and project design is superior. All Estate Residential lots must have direct public roadway access and be connected to a public water system."

Low Density Residential is "characterized as a residential subdivision with a maximum base density of 1.0 dwelling units per acre. Typical housing types in this land use category include single family detached homes on large and medium sized lots. Projects from 20 to 175 acres may achieve incentive densities as well, although the specific requirements for a smaller project vary. A minimum lot width of 170 feet is required unless the subdivision is developed at the incentive or bonus density."

Floodplain includes all public park land within the Town. In addition, it includes the general areas of land located within the 100-year floodplain as identified by the Federal Emergency Management Agency (FEMA). It may include land that has been reserved as open space by either a public agency or private landowner. Development of private lands in this category is limited due to public safety concerns. The Town recognizes that modification of floodplain areas, in accordance with federal regulations, may remove some land from floodplain designations.

As noted, development proposals are meant to fit into the proposed development plan noted for the area. The proposed plan adheres to the intent noted for the area (large lot development) but it does not fully comply with the development standards associated with the zoning ordinance. At a joint Town Council and Planning & Zoning Commission held on January 9, 2016, it was established that the future land use intentions for this property would remain as is.

Zoning Ordinance Info – Base Density Development

The purpose of the SF-2 District "is intended as an area for low density residential use in a semi-rural to rural environment. The principal purpose of this district is large-lot single family residential development;

small lot or residential subdivision development is discouraged. This district is appropriate for selected locations where rural characteristics are desired, or where terrain or public service capacities necessitate low densities. Limited public services may be extended to this district based upon proximity to existing services". The purpose of the SF-3 District "is intended for low density residential use on large and medium size lots, and the provision of flexible development opportunities through planned residential development. This district is appropriate where low-density urban development is desired and where public services exist or could reasonably be extended to the development".

Planned Residential Overlay Info

As noted, in order to proceed with this proposed development, a zone change to a planned residential overlay would be required accompanied by a land use map amendment. The zoning ordinance has established a Planned Residential Overlay District that allows for modifications to the underlying base zoning district providing that certain provisions are met. At this time, the project area requirement for the establishment of a **SF - 3** Planned Residential Overlay District is 1,000 acres.

Section 10.10 (Alternative Proposal and Variation from Requirements) of the zoning ordinance states project size variations (developments smaller than 1000 acres) may be considered for a planned residential overlay with the following limitations:

- A. No variations will be granted from the maximum residential densities for planned residential developments set forth in the base zoning district regulations.
- B. The alternative proposal and variations requested shall achieve the same basic objectives as the particular standards which are to be varied.
- C. *Where the proposal seeks to vary **project size** limitations, the alternative design shall be evaluated in accordance with standards applicable to larger projects.*

Staff believes the intent of the Section 10.10 language was to allow for the consideration of development proposals that do not meet the minimum 1000 acre requirement.

Details of the proposed SF3 – Planned Residential Overlay development are as follows.

Total Site Area	83.06 acres
SF-3 Lot Area (1 acre lots)	64.85 acres (74%)
Open Space Area (ponds)	approx. 18.21 acres (21%)
Total Lots	49 Lots

The table below shows the proposed development standards that would be up for consideration. The development standards note that "the required 40-foot front yard could be reduced up to five (5) feet for lots situated along curvilinear streets, cul-de-sacs or eyebrows, or where a 40' front yard building setback would create an undue hardship on the property."

<u>Detached Single Family Lot Types</u>	<u>1 Acre Lot</u>
Minimum lot area (square feet)	43,560
Maximum Building Height	36'
Air Conditioned Square Footage (minimum)	2,200
Minimum roof pitch	8:12 except for 4:12 on porch roofs
Minimum lot width at front building line	155' (note 1)
Minimum lot depth	190' (note 1)
Minimum corner lot width	100'

Front yard <i>(front porch may encroach to within 10' of front property line)</i>	40' (note 3)
Rear yard	15'
Interior side yard	7'
Corner (side) yard	15'
Garage orientation	Traditional "swing" or "J" drive garage shall be required. However, garage doors shall be permitted to face the street to the extent that the same or greater number of garage doors for the dwelling are in the "swing" or "J" configuration.
Maximum lot coverage	65%
Minimum distance of driveway from property line (applicable to front entry garage only)	40'

Notes:

- 1) Lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may be reduced in lot width at the front property line. Additionally, the lot depth on lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may be reduced as needed to fit the knuckles and cul-de-sacs in accordance with the attached concept plan.
- 2) The streets within the subdivision shall be of open swale design for storm drainage.
- 3) The required 40-foot front yard building setback may be reduced by up to five (5) feet for lots situated along curvilinear streets, cul-de-sacs or eyebrows, or where a 40' front yard building setback would create an undue hardship on the property.

Density Categories

If established as a PRO, the following would need to be considered. For an SF-3 PRO, there are three density categories, which include incentive density and two (2) bonus density categories. For each category, there are items that need to be provided, in order to qualify for a specific category. Those requirements have been shown below:

**Planned Residential Development Standards
SF-3 ZONING DISTRICT**

Density Category	Maximum Permitted Density	Minimum Project Size	Minimum Open Space (Percent of Gross Usable Acreage)	Required Lot Size	Minimum % of Lots that must be Larger than or Equal to Required Lot size	Buffer
Incentive	1.3 D.U/acre	1,000 acres	15 %	16,000 sq ft 18,000 sq ft 24,000 sq ft 30,000 sq ft	100% 80% 60% 35%	Screen
Bonus Option ¹	1.6 D.U/acre	1,000 acres	15 %	15,000 sq ft 18,000 sq ft 20,000 sq ft 24,000 sq ft	100% 70% 30% 10%	Berm
Bonus Option ¹	1.6 D.U/acre	1,000 acres	25%	13,000 sq ft 15,000 sq ft 18,000 sq ft 20,000 sq ft	100% 80% 30% 10%	Berm

1. Either option may qualify for bonus density.

Based upon the information that has been provided, it would appear that the proposal would align with the incentive density category.

Maximum Permitted Density

For the incentive category, the maximum permitted density for the development is 1.3 dwelling units per acre. Density is calculated by the number of dwelling units provided per gross useable acre of land. Gross useable acres is defined as “the number of acres of land in a development site computed by subtracting from the total number of acres that is occupied by (1) floodway, (2) 75% of any land encumbered by a reservation of record, restricting all or a portion of property from development or encumbered by a power line easement, and (3) any other form of unusable open space”. As shown later in the staff memo, the gross useable acres are determined to be approximately 64 acres. The applicant has proposed a maximum density of 0.76 with a total of 49 lots on 64 acres of gross useable land.

Minimum Percentage of Lots

For density category there is a different minimum percentage of lots that must be equal to or greater than the required lot size shown on the table above. Based upon the plan provided, the applicant would appear to meet the lot mix required for the incentive density category.

Maximum Number of Dwelling Units

The maximum number of dwelling units that are permitted within the PRO cannot exceed the number of maximum residential units that would be authorized in the base district. This is accomplished by multiplying the maximum residential density in the base district by the number of gross useable acres of the project, which has been previously noted.

While the property does not have floodway, it does contain some un-useable area due to the floodplain or pond areas, which can be seen as being restricted from development. In acquiring this calculation, Town staff has subtracted out the floodplain/park area (18.21 acres) resulting in a gross useable acreage of 64 acres. The density requirement in the base zoning district being one (1) unit per acre for SF-3 and .8 for SF-2, results in an overall maximum number of dwelling units of approximately 61. Staff notes this calculation does not consider the space required for infrastructure and utilities which would likely lower the maximum number of possible dwelling units. The applicant has provided for a maximum of 49 dwelling units.

FP – 18.21 acres = n/a

SF-2 – 13.9 acres (.8) = approx. 11 max dwelling units

SF-3 – 50.95 acres (1) = approx. 50 max dwelling units

Open Space Requirements

An application for a PRO district must include an open space plan. A PRO should not be approved if the development does not provide the minimum percentage of land area for the project devoted to open space. Chapter 20.3 Open Space Standards (B)(6) of the Zoning Ordinance does state that “trails shown on the Town’s adopted Open Space Master Plan shall be constructed by developers of all residential and nonresidential property whether the property is developed at base density or is a part of a Planned Residential Overlay District, Planned Commercial District or Design Review District. All such trails shall be located in a 15-foot access easement dedicated to, but not necessarily maintained by, the Town of Sunnyvale”. The applicant has provided for an east/west trail in accordance with the Town Open Space Master Plan. The trail will also provide a southern connection to the proposed trail network within the Samuell North Park along the Jobson Road boundary of the project. A northern connection along Jobson Road is not shown. An additional trail connection is shown between lots 18 & 19 of the development.

Future Development Details

Landscaped Buffer Areas and Right-of-Way

At a minimum, landscaped buffers shall be covered with living grass or ground cover and shall be provided with an automatic irrigation system. If the buffers are intended to be maintained by a homeowner's association, the buffer will need to be placed within a landscape easement dedicated to the Town of Sunnyvale and Homeowner's Association.

Both Tripp and Jobson are considered country lanes. Country lanes are two-lane rural collector streets with a minimum 60' ROW required with additional landscape buffer zones provided. The landscape buffer must provide 3" caliper trees, spaced at 30' on center for small/medium trees and 50' on center for large trees. Country lanes must be designed without curbs or gutters and drainage shall be accommodated in drainage swales.

The applicant has provided a sixty (60) foot right-of-way within the development. The pavement distance is proposed at twenty-four (24) feet from edge of pavement to edge of pavement. This would appear to meet the standards provided for a county lane local residential street. All public improvements would need to be constructed to meet Town engineering design standards.

The proposed landscape plan shows a twenty-five (25') foot landscape buffer along the northwest portion of the development (Jobson Road entry). Planned Residential Overlay developments are required to have a twenty-five (25') perimeter landscape buffer. The applicant has proposed a 10' perimeter landscape buffer to the east near The Falls subdivision and a 25' buffer along the western portion of the development.

Tree Preservation / Replacement Plan

There are trees located on the site; and particularly along the Jobson Rd ROW. Town staff would request that as many of these existing trees are preserved as possible to enhance the country lane designation that has been given to both Jobson and Tripp Roads. At this point, the applicant has not prepared a tree preservation and replacement plan. Such a plan would be required as part of the preliminary plat approval. The plan would need to meet the requirements of the zoning ordinance.

Street Lighting

Decorative lighting is required at all residential subdivision entries. Additional lighting is to be placed throughout the development. The location of street lighting fixtures would need to be determined. Light poles are to be fourteen (14) feet in height. Traffic information and street names shall be placed on the poles. The applicant will need to work with Oncor Electric to install the standard Sunnyvale light pole. A sketch or photo of the lighting equipment would need to be submitted to the Town for review and approval.

Fire Hydrants

Fire Hydrants would need to be located in accordance with the regulations as provided for within the Zoning Ordinance and Subdivision Ordinance. The distance of a fire hydrant from the edge of pavement for a public street shall not exceed five (5) feet unless otherwise permitted by the Town Engineer. Fire hydrants must be located at all intersecting streets and at intermediate locations between intersections at a maximum spacing of five hundred (500) feet. This will be further reviewed at the preliminary plat level.

Standard Architectural Details (unless revised within a PRO ordinance)

Given that fencing will be adjacent to open space, open fencing with openings that do not cover more than fifty (50) percent of the fence area shall be used for residential lots that abut open space.

Zoning ordinance require that garages may not face the front of the lot. No front building elevation or plan for a single-family detached dwelling shall be repeated with a block face or within 1,000 feet along a street(s). All residential units shall consist of ninety (90) percent brick or stone, with exception given to doors and windows. All fireplace chimneys are to be 100 percent masonry. No more than fifty (50) percent of any elevation may be glass. The zoning district designations that are in place for the development would both require a minimum dwelling size of 2,200 square feet.

The applicant has proposed “J swing” front entry designed elevations which would allow for a one-car garage to face the front of the lot if a third garage is a part of the proposed home floor plan. The proposed minimum dwelling size would be 2,200 square feet for each home.

Sidewalks/Trails and Open Space

The Town of Sunnyvale Parks, Recreation, and Open Space Plan shows a future trail extending south along a portion of Jobson Road and looping through the floodplain portion of the property. The area shown on the concept plan, that is floodplain and pond area would be considered open space. The open space plan shows the trail segments connecting to an existing trail located behind the cul-de-sac within The Falls development in accordance with the park plan. The applicant has provided for an east/west trail in accordance with the Town Open Space Master Plan. The trail will also provide a southern connection to the proposed trail network within the Samuell North Park along the Jobson Road boundary of the project. A northern connection along Jobson Road is not shown. An additional trail connection is shown between lots 18 & 19 of the development.

Public Notice

Public notice was provided to the Town’s Official Newspaper for publication on May 25, 2016. Letters were also sent to property owners’ within 400’ on June 8, 2016. The total number of letters sent was sixty-one (61). As of the release of the staff memo, two (2) response letters not in favor had been received.

Staff Recommendation

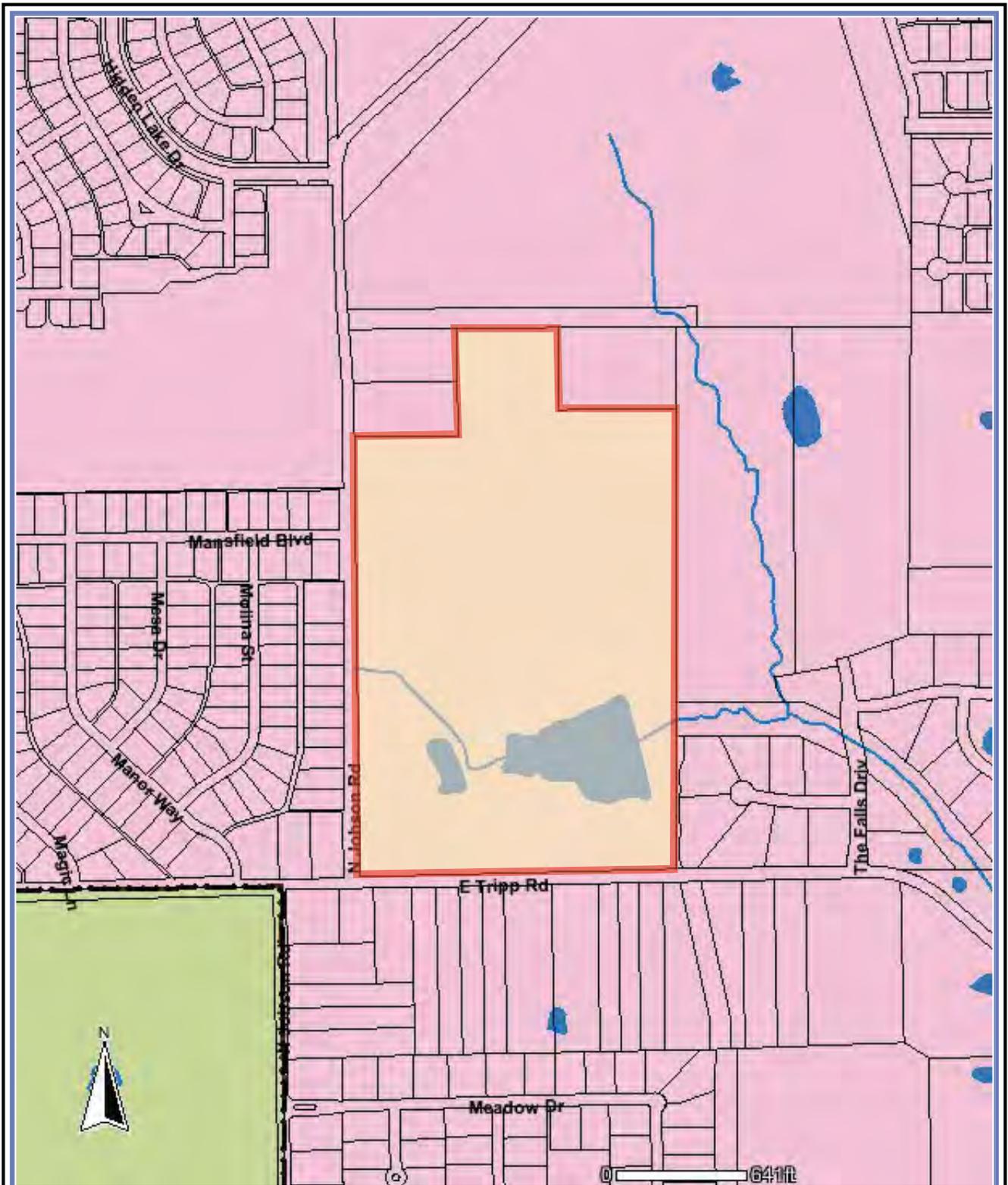
Comments may not represent an all-inclusive list. More detailed plans and drawings would be provided at the Preliminary Plat level to ensure that every regulation required by Town ordinance has been adequately addressed. Town staff provides the following comments for consideration:

1. Staff notes that the current proposals are more in line with the overall land use intent for the subject area. Staff cannot fully support the non-slip street concept due to the noted lot variations and proposed direct lot access to Tripp Road and Jobson Road. If the Tripp Road and Jobson Road lots have direct access to the public right-of-way; some thought and consideration should be given to the alignment of driveways through these areas if allowed.
2. If the slip street concept is approved, staff requests the inclusion of language in the ordinance stipulating the slip streets shall be maintained by the Glazer Estates HOA.
3. If approved, the developer will need to address any future comments and/or concerns that may be presented by the Public Works Director and Town Engineer. The department recommends the development of subdivisions with curb and gutter streets as opposed to country lanes due to maintenance and drainage issues.

4. The applicant would need to verify that no floodplain reclamation is necessary for those lots/pads located within the floodplain area. The FEMA floodplain will have to be removed from the proposed residential lots with a Letter of Map Revision.
5. The applicant will need to work with existing residents and the post office for the relocation of mailboxes that currently exist along the north side of Jobson Road. The development of these lots will result in the potential re-location of the existing mailboxes.
6. Additional comments have been provided throughout the staff memo, which must be taken into consideration as well prior to preliminary plat submittal.

Attachments

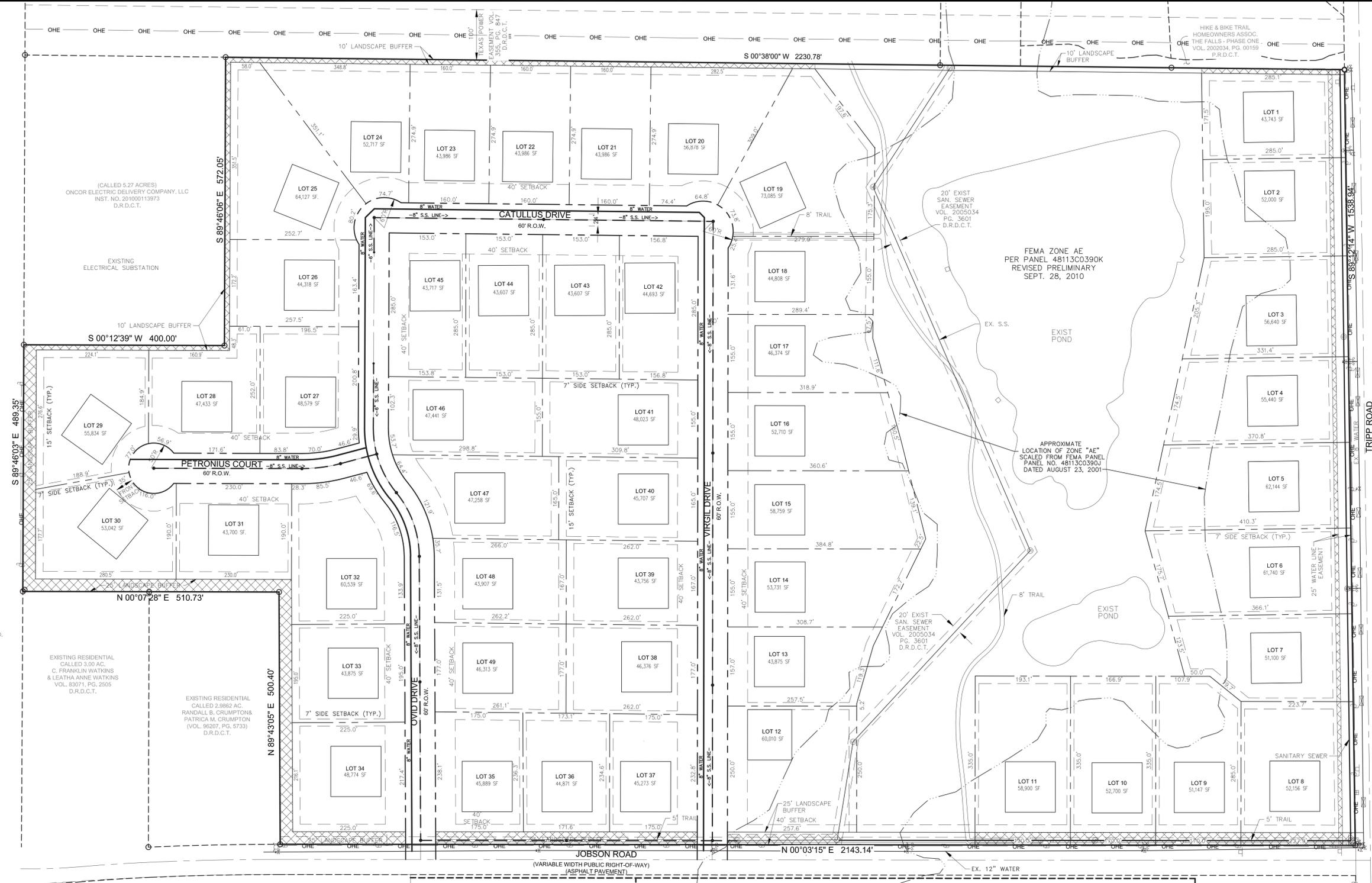
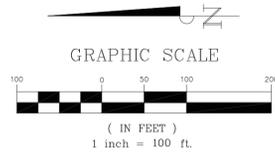
- Location Map
- Concept Plan w/o slip street for Glazer Estates
- Landscape Plan w/o slip street for Glazer Estates
- Concept Plan with slip street for Glazer Estates
- Landscape Plan with slip street for Glazer Estates
- Proposed Ordinance - Planned Residential Overlay development standards
- Staff review comment letter – 6.6.16
- Applicant response to review comments – 6.13.16
- Resident responses



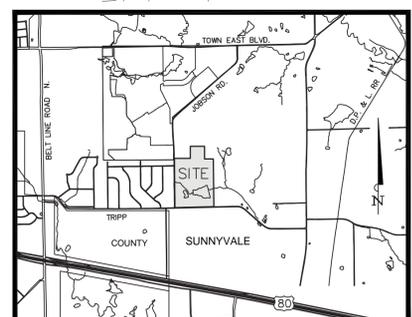
**Dallas Central
Appraisal District**
www.dallascad.org

DISCLAIMER

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.



WITHOUT SLIP STREET



VICINITY MAP
NOT TO SCALE
SUNNYVALE, TEXAS

SITE DATA SUMMARY

ZONING / LAND USE:	SF-3 SF-3 FLOODPLAIN
TOTAL SITE AREA: (including buffers)	83.06 ACRES 3,618,073 SF
SF-3 LOT AREA:	64.71 ACRES 2,818,868 SF
SF-3 DENSITY:	0.76 UNITS/AC (49 LOTS)
PARK AREA:	18.35 ACRES 799,206 SF
TOTAL # OF LOTS:	49 LOTS
MINIMUM SIZE:	43,560 SF
TYPICAL SETBACKS:	
FRONT:	40 FEET, 35 FEET (MIN)
REAR:	15 FEET, 15 FEET
SIDE:	7 FEET

LEGEND

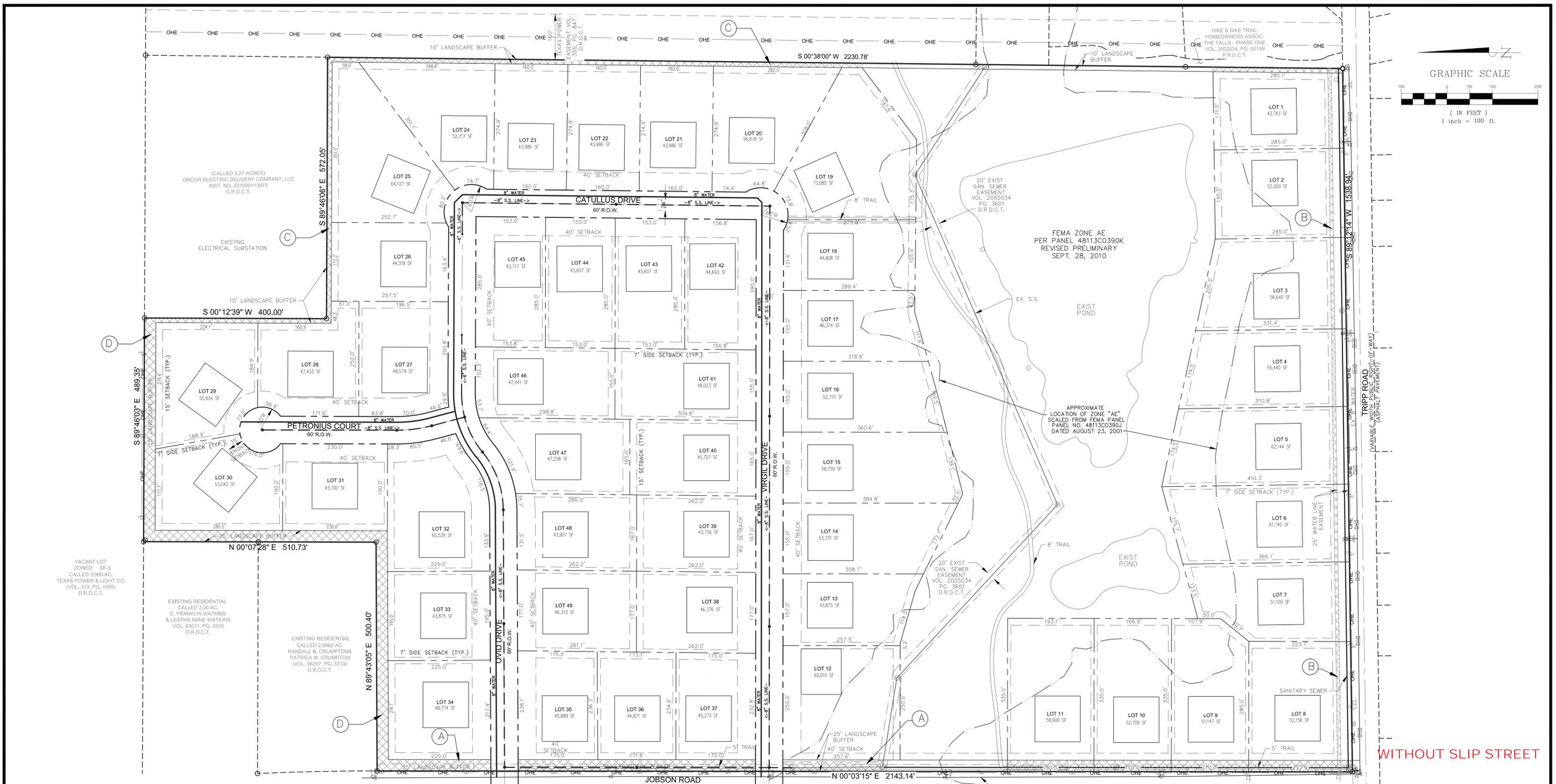
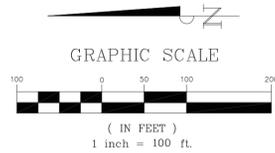


PLAN PREPARED BY:
BANNISTER ENGINEERING, LLC (F-10599)
240 NORTH MITCHELL ROAD
MANSFIELD, TEXAS 76063
PHONE (817) 842-2094
FAX (817) 842-2095
CONTACT: CODY BROOKS, P.E.

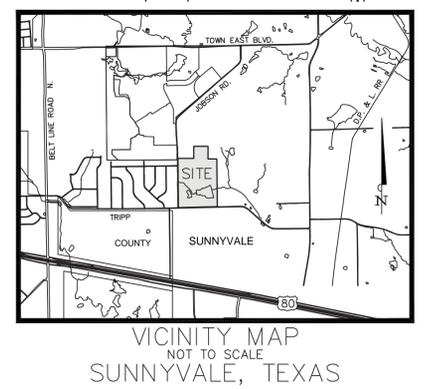
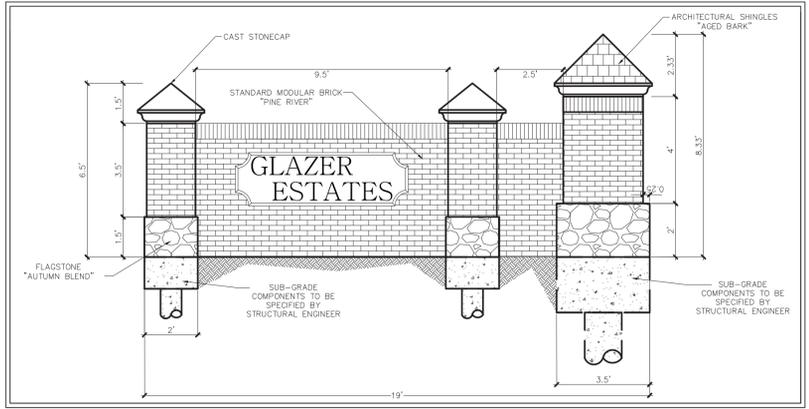
DEVELOPER:
SKORBURG COMPANY
8214 WESTCHESTER DRIVE,
SUITE 710
DALLAS, TEXAS 75225
(214) 522-4945
CONTACT: RICH DARRAGH

PRO CONCEPT PLAN
FOR
GLAZER ESTATES

83.06 ACRES
CITY OF SUNNYVALE, DALLAS COUNTY, TEXAS
ABSTRACT NO. 338



CONCEPT ENTRY FEATURE



LEGEND

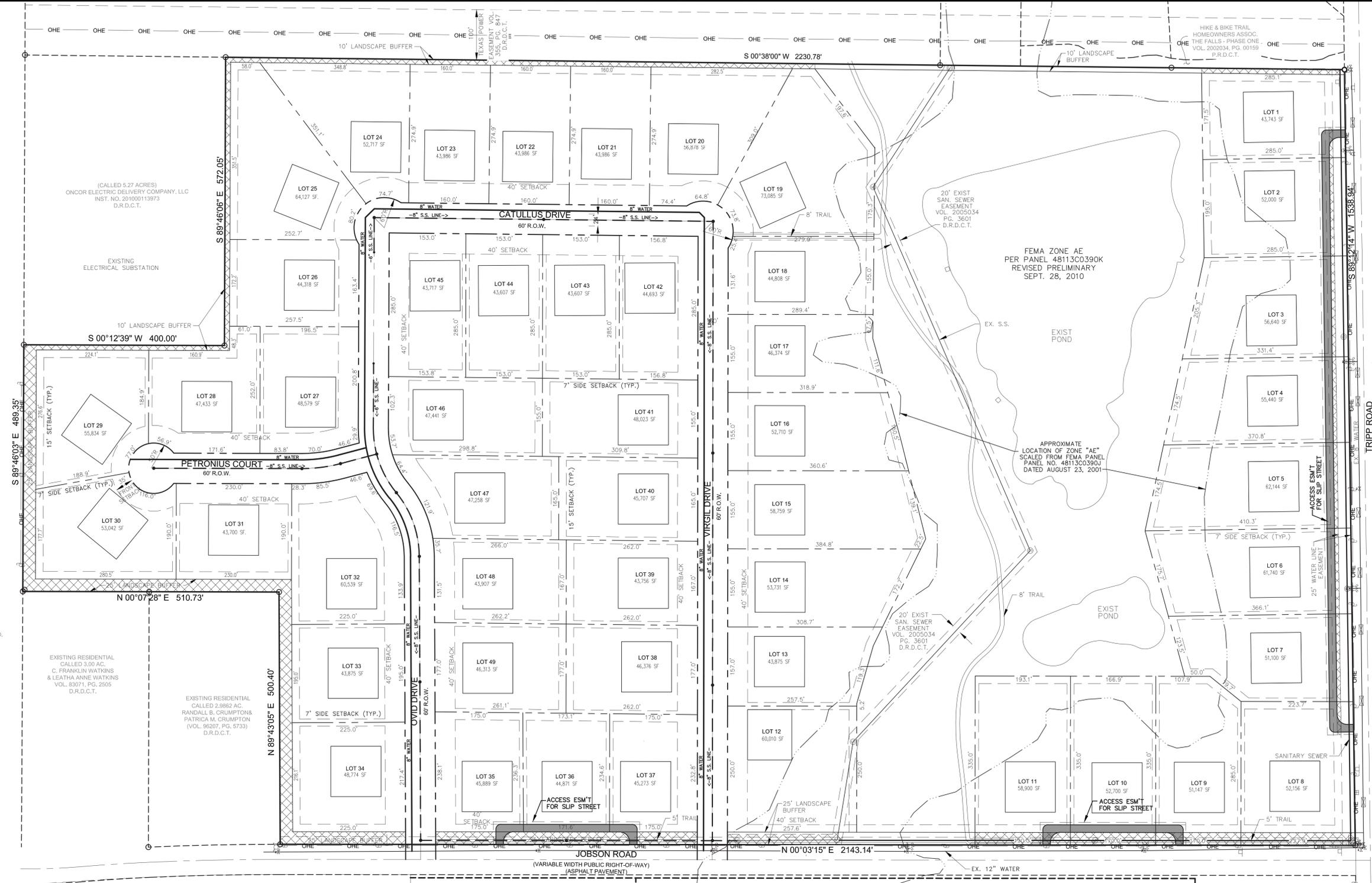
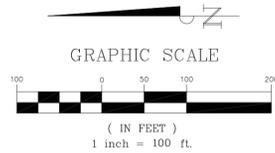
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CONCEPT LANDSCAPE PLAN FOR GLAZER ESTATES

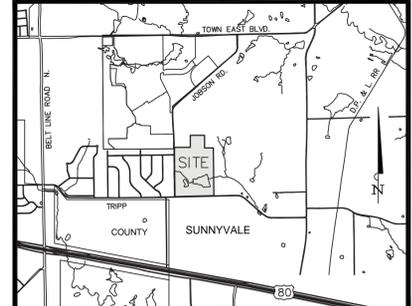
83.06 ACRES
CITY OF SUNNYVALE, DALLAS COUNTY, TEXAS
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WITH SLIP STREET



VICINITY MAP
NOT TO SCALE
SUNNYVALE, TEXAS

SITE DATA SUMMARY

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MINIMUM SIZE:	43,560 SF
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LEGEND

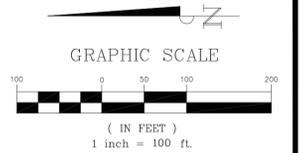
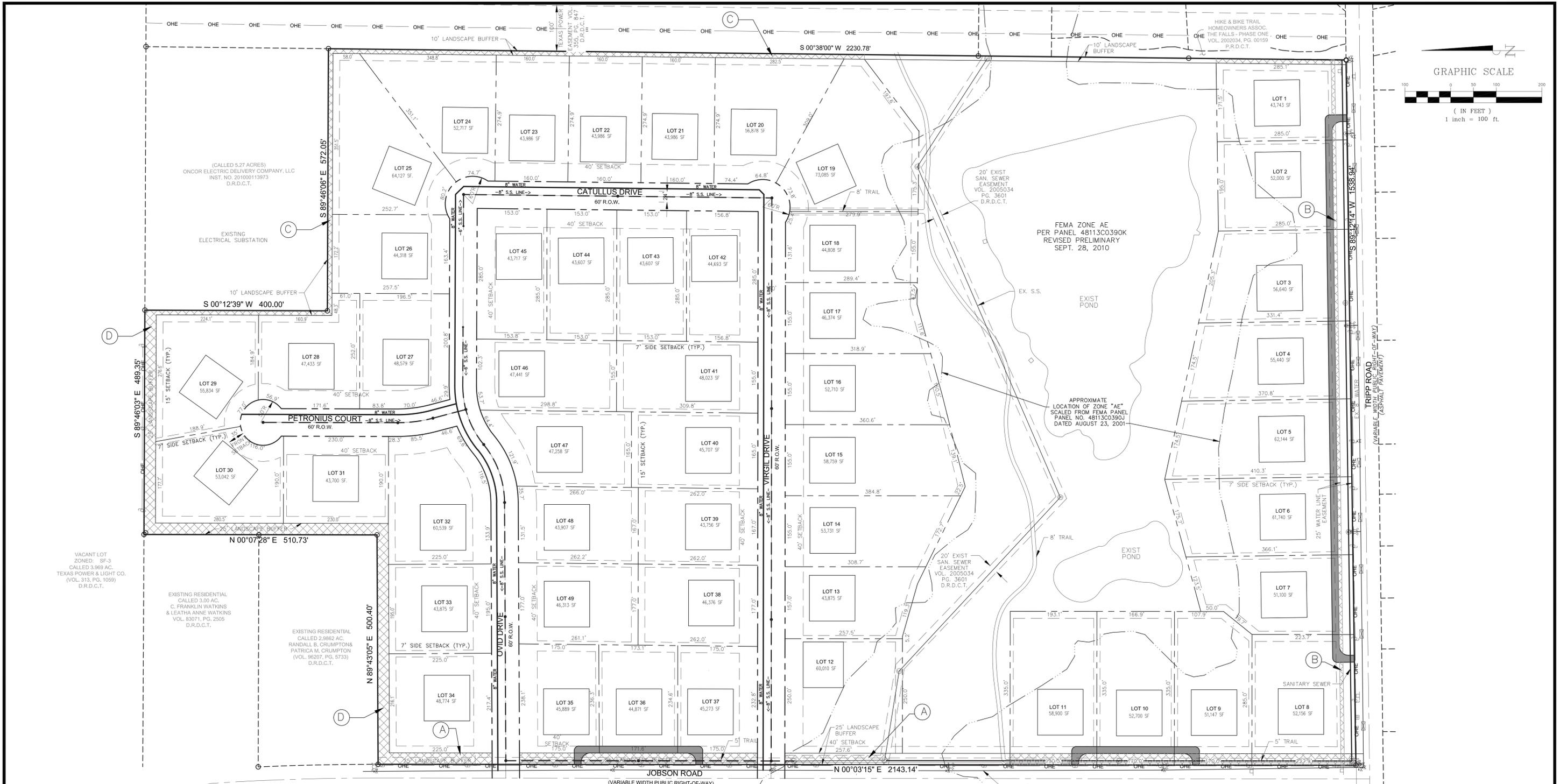


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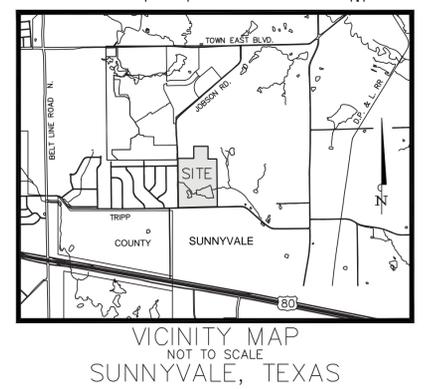
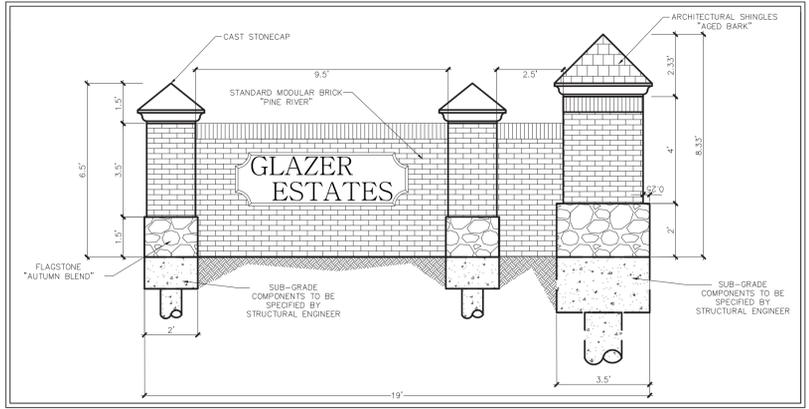
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**PRO CONCEPT PLAN
FOR
GLAZER ESTATES**

83.06 ACRES
CITY OF SUNNYVALE, DALLAS COUNTY, TEXAS
ABSTRACT NO. 338



CONCEPT ENTRY FEATURE



LEGEND

- DENOTES COMMON AREA
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 - b. Plant 1 small to medium tree thirty feet (30') on center or plant 1 large tree fifty feet (50') on center.
- D. Along the northwestern and northern boundary of the tract.
 - a. A twenty-five foot (25') landscape buffer area with berms shall effectively screen and shield the development from the transmission lines along the northern boundary as well as the houses along the northwestern boundary.
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CONCEPT LANDSCAPE PLAN FOR GLAZER ESTATES

83.06 ACRES
CITY OF SUNNYVALE, DALLAS COUNTY, TEXAS
ABSTRACT NO. 338

**Planned Residential Overlay
“Glazer”
Sunnyvale, Texas**

PLANNED RESIDENTIAL OVERLAY DISTRICT- SINGLE FAMILY RESIDENTIAL – PRO sub district to combine with SF-3 base zoning.

General Description: This Planned Residential Overlay District (PRO) is intended to accommodate a low density single family residential use. Development standards for this district are outlined within this text.

Statement of Purpose: The purpose of this PRO is to establish a Concept Plan and specific conditions for the development of the property known as “Glazer Estates”. The intent of this PRO is to achieve a quality residential community while providing a variety of dwelling unit sizes and additional open space amenities. The approximate acreage of open space is 18.21 Acres.

Amendment of Base Zoning Districts:

1. The base zoning district for the 64.85 acres is changed from SF-2 and SF-3 to SF-3 base zoning district.
2. A PRO sub district hereby is created to combine with the SF-3 base zoning district.

Land Use: Land uses within the “Glazer” development shall be limited to detached single family dwellings, open spaces, and other amenities specified herein.

Dwelling Unit Size: Forty-nine (49) single family dwelling units within this tract shall have a minimum air conditioned living space size of 2200 square feet.

Number of Dwelling Units and Density: The number of dwelling units within “Glazer Estates” shall not exceed forty-nine (49) and the Gross Usable Acres, as defined in the Town’s Zoning Ordinance, shall be deemed to be 64.85 acres. The gross residential density shall not exceed 0.76 Units per Acre (Incentive density in chart 7.2 is 1.3 density Units per Acre, with 15% open space). Development shall be in accord with the concept plan as attached. However, in the event of conflict between the concept plan and the written conditions, the written conditions shall control. The concept plan shall also serve as the land use plan.

Development Regulations:

Minimum Standards for Lot Size:

<u>Detached Single Family Lot Type</u>	<u>1 Acre Lot</u>
Minimum Lot Area	43,560 SF
Maximum Building Height	36’
Air Conditioned Square Footage (Minimum)	2,200 SF

Minimum roof pitch	8:12 except for 4:12 on porch roofs
Minimum lot width at front building line	155' (Note 1)
Minimum lot depth	190' (Note 1)
Minimum corner lot width	100'
Front yard setback	40' (Note 3)
Rear yard setback	15'
Interior side yard setback	7'
Corner side yard setback	15'
Garage orientation	Traditional, "swing", "inside swing", "outside swing" or "J" drive garages shall be required. However, garage doors shall be permitted to face the street to the extent that the same or greater number of garage doors for the dwelling are in the "swing", "inside swing", "outside swing" or "J" configuration.
Maximum lot coverage	65%
Minimum distance of driveway from property line (applicable to front entry garage only)	40'

Notes:

- 1) Lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may be reduced in lot width at the front property line. Additionally, the lot depth on lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may be reduced as needed to fit the knuckles and cul-de-sacs in accordance with the attached concept plan.
- 2) The streets within the subdivision shall be of open swale design for storm drainage.
- 3) The required 40-foot front yard setback may be reduced by up to five (5) feet for lots situated along curvilinear streets, cul-de-sacs or eyebrows, or where a 40' front yard building setback would create an undue hardship for the property.

Lot Trees: Prior to issuance of a certificate of occupancy, the developer or builder shall plant a sufficient number of trees on the lot to assure that the following numbers of trees of a minimum size of three inch (3") caliper and ten (10) feet in height exist on the site. For lot sizes 1 acre or larger, a total of three (3) trees shall be planted per lot.

Street and Intersection Design: The development shall be designed and constructed using curvilinear streets. Curvilinear streets are defined as those curved streets having a centerline radius of not greater than 1,500 feet nor less than 350 feet. The percentage of curvilinear streets shall be determined by dividing the total centerline lengths of curvilinear streets by the total centerline lengths of all streets in the addition. The street right of way will be a 60' open swale with 24' pavement; this is the standard for a "Local Country Lane - Residential" as noted in the Town's "Paving Details."

Buffering, Landscaping and Screening:

- A. Along Jobson Rd.
 - a. A twenty-five foot (25') wide landscape buffer area with berms shall effectively screen and shield the development from Jobson Rd.
 - b. Due to Tripp and Jobson being Country Lanes, trees of no less than 3 inch (3") caliper will be planted and spaced at a maximum of thirty feet (30') on center for small to medium trees or fifty feet (50') on center for large trees.
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 - b. Plant 1 small to medium tree thirty feet (30') on center or plant 1 large tree fifty feet (50') on center.

Landscape Plan: See attached landscape plan (Exhibit B attached hereto).

- A. A tree survey/landscape plan shall be submitted with any plat in accordance with the landscape plan.

Maintenance of Open Space, Amenities, Landscape Buffer and Trails: The trail systems in the development shall be in accordance with the Town Open Space Master Plan. The trails in the open space area and between lots 18 and 19 will be constructed of concrete at a width of 8 feet. The open space and trails shall be provided as indicated on the concept plan and maintained by the "Glazer Estates" Homeowner's Association. The trail along Jobson Rd. will be constructed of concrete at a width of 5 feet. This trail shall be provided as indicated on the concept plan and maintained by the "Glazer Estates" Homeowner's Association. There will also be 2 concrete pads in the floodplain along the lake. These pads shall be provided as indicated on the concept plan and maintained by the "Glazer Estates" Homeowner's Association. Lots abutting open space may have tubular steel fencing backing up to the pond / trail open space areas.

Anti-Monotony Features: Exterior façade must be composed of eighty percent (80%) masonry (brick, stone, cultured stone, or three-part stucco). Identical brick blends may not occur to adjacent (side-by-side) properties. Elevations shall not repeat along the fronting or siding streetscape without at least four (4) intervening homes of sufficient dissimilarity on the same side of the street and two (2) intervening homes on the opposite side of the street. The rear elevation of homes backing to open spaces or thoroughfares shall not repeat without at least two (2) intervening homes of sufficient dissimilarity.

Masonry (brick, stone, cultured stone, or three-part stucco) chimneys shall be required on all homes. Minimum of 8:12 front elevation roof pitch, except 4:12 roof pitches on porches. Dimensional shingles shall be used.

Homeowner' Association: A Homeowners Association duly incorporated in the State of Texas shall be incorporated and each lot/homeowner shall be a mandatory member. This association shall be established so as to ensure the proper maintenance of all common areas, either public or private, as desired, to be maintained by the association. The bylaws of this association shall establish a system of payment of dues, a system of enforcement of its rules and regulations; a clear and distinct definition of the responsibility of each member, and such other provisions as are reasonably deemed appropriate to secure a sound and stable association. The Bylaws shall be submitted to the Director of Planning for review and approval prior to construction.

Town of Sunnyvale

127 N. COLLINS ROAD
SUNNYVALE, TEXAS 75182
TELEPHONE (972) 203-4188
FAX (972) 226-1950
www.townofsunnyvale.org



June 6, 2016

John Arnold
Skorburg Company
8214 Westchester Dr. Ste. 710
Dallas, Texas 75225

Subject: Glazer Estates PRO Submittal – Comment Letter

Dear Mr. Arnold,

Town staff has reviewed the plans you resubmitted on May 25, 2016 for a proposed zone change for the Glazer Estates Planned Residential Overlay development. Based upon Town staff review of the documents provided, the following comments and concerns must be addressed by June 13th by 11am. Additional comments may arise upon further review.

Planning Comments – rashad.jackson@townofsunnyvale.org

1. For the adoption of this particular Planned Residential Overlay development, the process will require an amendment to the current zoning district and the future land use plan (comprehensive plan) for the area. The current and proposed update to the land use plan calls for the subject area to remain zoned SF2 (Low Density Residential) & SF3 (Estate Residential). As it stands, staff cannot fully support this application unless Planning & Zoning and Town Council see fit to change the zoning and future land use plan for the subject area. The proposed application is consistent with the overall intent of the comp plan (1 acre lots) except for the proposed variations to the zoning district development standards (i.e. lot width, setbacks and direct access driveways to Class 2 streets).
2. Open space trail connections are shown to be consistent with the intent of the Open Space Master Plan but the proposed trail that is shown for the east west connection should be noted as eight (8) feet wide as opposed to five (5). It was shown as 8 feet on previous submittals.
3. Would the applicant be open to allowing only wrought iron or white vinyl fencing for all lots that abut the pond / trail open space area? Similar development standards are in place for The Falls development. The proposed standard would provide continuity between the developments. Open fencing should be noted in the proposed development standards for lots abutting open space.
4. For future development, the applicant should communicate with the developer for The Homestead, Phase 3 in order to avoid any possible issues with down flow drainage.
5. Under Buffering, Landscaping and Screening, what is the minimum slope and height of the proposed berms?

6. On the concept landscape plan, please show the proposed landscape areas along Tripp and Jobson Road “hatched” similar to those landscape areas shown along the northern and eastern portions of the development.
7. The “*Buffering, Landscaping and Screening*” language in the ordinance does not match the proposed landscape plan. The proposed “option 1, 2, and 3” designations should be noted correctly in the ordinance language.

Public Works Comments

8. The department recommends the development of subdivisions with curb and gutter streets as opposed to country lanes due to maintenance and drainage issues.

Engineering Comments – justin.brown@freese.com :

9. The site plans shows sanitary sewer for the interior lots but does not show any sanitary sewer service for the 11 lots that front Jobson Road and Tripp Road. How will Lots 1-11 be provided sanitary sewer service.
10. Residential driveways entering onto Jobson Road and Tripp Road are not allowed without the consent of Town Council. Staff suggests the development of a private access easement roadway if direct access is not allowed by Council.
11. The floodplain will have to be removed from the residential lots by LOMR.

NTMWD Engineering Comments – Bob Quinn, P.E.:

12. NTMWD’s 60” water line runs along Tripp Road inside the NTMWD 25’ wide water easement in the front of the proposed lots. A City of Sunnyvale 12” water line is also in this easement. There are appurtenances on both lines requiring access which may interfere with placement of the proposed driveways. Streets and driveways are acceptable as long as a minimum of 3.5 feet is provided between bottom of pavement and top of existing NTMWD water pipeline. All utilities crossing the NTMWD pipeline must meet TCEQ requirements. A minimum of 1 foot clearance is required between NTMWD’s pipeline and the proposed utilities. In addition where going under the NTMWD pipe, the utilities will be cased and bored the entire width of the easement. Landscaping not permitted in NTMWD easement. Meters to serve residential lots not permitted in easement. Franchise Utilities are not permitted in easement except for crossing. Plat and Civil Plans are requested to be submitted for review and approval, if zoning is approved.

If you have questions or concerns, please contact me at (972) 203-4188 or via e-mail at rashad.jackson@townofsunnyvale.org. Our town engineer may be reached at justin.brown@freese.com . Please resubmit the following:

- Four (4) hardcopies of all plans
- A cd of all plans.

Sincerely,



Rashad Jackson, AICP
Director of Development Services
Town of Sunnyvale

Cc: Justin Brown, Town Engineer
Tim Rawlings, Building Inspector
Johnny Meeks, Public Works Director
Sean Fox, Town Manager
Rich Darragh, Skorburg Development
Development File



June 13, 2016

Town of Sunnyvale
Attn: Rashad Jackson

Skorburg Company
8214 Westchester, Suite 710
Dallas, TX 75225

Subject: Glazer PRO Submittal – Comment Letter

Dear Mr. Jackson

We have reviewed the staff comments on our submitted plans for a proposed Planned Residential development located at the northeast corner of Tripp and Jobson Road. The comments are addressed within this letter.

Planning Comments

Comment #2 ADDRESSED: Please see attached the updated Concept Plan.

Comment #3 ADDRESSED: Please see attached the updated PRO Ordinance.

Comment #4 ADDRESSED: We have contacted Wynn Jackson and are working together to come up with a plan that will avoid any possible issues with down flow.

Comment #5 ADDRESSED: Berms shall have side slopes not to exceed 33.3 percent (3 feet of horizontal distance for each one foot of height).

Comment #6 ADDRESSED: Please see attached updated Landscape Plan and Concept Plan.

Comment #7 ADDRESSED: Please see attached the updated Landscape Plan and PRO Ordinance.

Comment #9 ADDRESSED: Sewer will be extended from the sewer easement in the floodplain, south on Jobson Road and East on Tripp Road to serve the 11 lots on Tripp Road and Jobson Road.

Comment #12 ADDRESSED: We have discussed our plan with Bob Quinn to make sure our plan does not go against these requirements.

Cordially Yours,

John Arnold



Notice of Request to Amend
Comprehensive Plan and Zoning Map
Town of Sunnyvale

The Town of Sunnyvale has received a request from John Arnold for an Amendment to Zoning Ordinance No. 324, duly passed by the Town Council; and as amended from time to time, so as to change the Town's Comprehensive Plan and Land Use Diagram from Estate Residential (ER) to Low Density Residential (LDR) and the Zoning Map from Single Family 3 & Single Family 2 to Single Family 3 - Planned Residential Overlay (SF3-PRO) for property located at or about the northeast corner of Tripp Road and Jobson Road. The request is for the proposed development of Glazer Estates, a residential development. This item was tabled at the May 23, 2016 Planning & Zoning meeting. The applicant has revised the initially proposed plan. The plan is attached.

The Planning and Zoning Commission will hear this application on Monday, June 20, 2016 and the Town Council will consider the application on either Monday, June 27, 2016 or Monday, July 11, 2016. The hearings will be conducted in open session at Town Hall, 127 Collins Road at 7:00 P.M. If you have comments on this application, you may present them in person at these meetings or may submit written comments at any time on or before date of the hearings.

The zone change application and supporting documents are on file at Town Hall and may be examined at no charge. For further information contact Rashad Jackson, Director of Development Services at 972-203-4103 or rashad.jackson@townofsunnyvale.org.

If you wish to submit a written response, please fill out and return this notice as soon as possible.

I am in favor of the Proposed Comprehensive Plan and Zoning Map Amendments

I am opposed to the Proposed Comprehensive Plan and Zoning Map Amendments

Explanation: ① Lots 1-7 entry onto Tripp Rd. directly, with no landscape barrier or berm along Tripp Rd. Has a driveway plan for Tripp Rd. been developed as promised at Mar 21, 2016 P+Z meeting?

② drainage issue from south of Tripp Rd. to pond.

③ lack of sewer infrastructure along Tripp Rd.

④ traffic study? speeding, passing, traffic

Signature:

Printed Name:

Address:

Date:

Elizabeth Ann Embrey

Elizabeth Ann Embrey

320 E. Tripp Rd; Sunnyvale Tx

6-13-16



Notice of Request to Amend
Comprehensive Plan and Zoning Map
Town of Sunnyvale

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- I am in favor of the Proposed Comprehensive Plan and Zoning Map Amendments
 I am opposed to the Proposed Comprehensive Plan and Zoning Map Amendments

Explanation: 1) Sunnyvale needs south end, horses + natural space to maintain "rural" identity
2) Drainage, lack of consideration to property directly south + west
3) Traffic, driveways
4) Disconnected homes (1-11) that will lack neighborhood inclusion

Signature: Christine Greater
Printed Name: Christine Greater
Address: 318 E Tripp
Date: 6/13/16



Town of Sunnyvale

June 20, 2016

Prepared By: Rashad Jackson, AICP
Director of Development Services

Summary:

APPLICANT: BILL DOUGLASS
AT OR ABOUT: 224 S. COLLINS ROAD – TOWER CONVENIENCE STORE
REQUEST: CONDITIONAL USE PERMIT FOR TRUCK LEASING – EXCLUDING SEMI - TRUCK AND HEAVY LOAD

Background:

The applicant has submitted an application requesting a conditional use permit to allow for the establishment of U-haul truck leasing center within the Towers Convenience Store (Valero) located at 224 S Collins Rd. The subject property is zoned General Business. The General Business zoning district conditionally allows for the proposed use. Conditional uses are those uses which are generally compatible with the permitted land uses in a given zoning district, but which require individual review of their location, design and configuration and the imposition of conditions in order to ensure the appropriateness of the use at a particular location within a given zoning district.

The applicant plans to lease small trucks and vans from the subject location. Upon review, the applicant indicated the intent to have up to two vehicles available for lease at the subject location. The vehicles will be located at the rear of the property as shown on the site plan. No construction is proposed for the implementation of the proposed use. The attached site plan shows the vehicles will be placed next to an undeveloped abutting parcel of land. The adjacent properties in the area are all zoned General Business.

The hours for the store have not been established but staff assumes the hours will coincide with the store hours for the Valero gas station. Given that this is a new market area, the open hours will be established and changed to adjust to consumer demand. Hours vary from dealer to dealer but the industry standard is typically 7am to 7pm.

Zoning Ordinance Standards

When considering applications for a conditionally permitted use, the Commission and Council shall evaluate the impact and compatibility of the conditional use with surrounding properties and neighborhoods to ensure the appropriateness of the use at a particular location. The Commission shall specifically consider the extent to which:

- A. The proposed use at the specified location is consistent with the policies and embodied in the adopted Comprehensive Plan.
The Comprehensive Plan notes the subject property as Retail (R). "This land use category is intended to include various types of retail and personal service uses, as well as low intensity office and professional uses, typically in a neighborhood-oriented or shopping center setting. These uses may also be appropriate along major thoroughfares (e.g. Belt Line Road) and freeway frontages (e.g. U.S. Highway 80), as shown on the Future Land Use Plan. Retail uses that would

be included within this category would include grocery stores, pharmacies, convenience stores, restaurants/cafes, discount/general merchandise stores, hardware/home improvement stores with little or no outside storage, appliance and furniture stores, computer and electronics sales, gardening shops, collectibles/antique sales, and other similar establishments where goods are sold. Service uses would include apparel laundering (e.g. dry cleaners) or repair (e.g. tailor, shoe or jewelry repair), floral shops, day care centers, hair/nail salons, locksmiths, health/fitness and dance/gymnastics studios, small printing shops, gas stations which offer only limited automotive services (such as oil/lube, state inspections, tires and wheels, car stereo and alarm system installation, and other similar services which do not generally require overnight or long-term storage of vehicles), travel and auto rental agencies, car wash facilities (either automated or self-serve), and other similar businesses where the primary enterprise is to provide a service. Office uses would include professional offices for architects and engineers, lawyers, physicians, financial advisors, insurance and real estate agents, banking/financial institutions, telemarketing call centers, and other similar establishments. Most retail, service and office uses within this category should conduct all business activities indoors or within an enclosed area (i.e. not outside the building), and outside storage of goods and/or equipment should be minimal.

- B. The proposed use is consistent with the general purpose and intent of the applicable zoning district standards.
As noted in the zoning ordinance, the purpose of the General Business District is “to provide retail, service and office uses that serve the entire community as well as regional needs” and “is intended for use along the US Highway 80 corridor”. The proposed use is “retail” in nature with some opportunity for regional reach depending on how many truck leasing facilities are nearby., In terms of the general purpose and intent of the district, this use would appear to be in line with the accessory gas station use and its particular location within the district (corner access to two roadways). The uses that have developed along the southern Collins corridor have been retail, office, and auto services uses.
- C. The proposed use is compatible with and preserves the character and integrity of adjacent development and neighborhoods and includes improvements or modifications either on-site or within the public right-of-way to mitigate development related adverse impacts, such as traffic, noise, odors, visual nuisances, drainage or other similar adverse effects to adjacent development and neighborhoods. These improvements or modifications may include, but shall not be limited to the placement or orientation of buildings and entryways, parking areas, buffer yards, and the addition of landscaping, walls, or both to ameliorate such impacts.
When looking at how the surrounding area has developed, it would appear that most uses along the S Collins Rd corridor south of Clay Road are general office, restaurants, daycare, convenience, and automotive service uses. The proposed use could be considered an extension to the existing gas station use. Depending on the conditions of approval, (i.e. limitations on hours, # of vehicles, trailers) the proposed use could have a limited effect to the surrounding and area. The applicant has noted no additional improvements or modifications will be needed for the proposed use. The location of the trucks themselves will be at the rear of the property screened from the Collins Road right of way.
- D. The proposed use does not generate pedestrian and vehicular traffic which will be hazardous or conflict with the existing and anticipated traffic in neighborhoods.
The use is located within an existing gas station at the intersection of two main thoroughfares. No neighborhood traffic should be affected by the proposed use. Circulation for the additional vehicular traffic should be adequately accommodated on and off the site.

- E. The proposed use incorporates roadway adjustments, traffic control devices or mechanisms, and access restrictions to control traffic flow or divert traffic as may be needed to reduce or eliminate development generated traffic on neighborhood streets.
The proposed use would locate within a gas station/convenience store, which has been developed to accommodate traffic generated by the development. No additional roadway adjustments or traffic control devices would appear to be necessary to accommodate this use.
- F. The proposed use incorporates features to minimize adverse effects, including visual impacts, of the proposed conditional use on adjacent properties.
The applicant plans to locate the vehicles at the rear of the property. No construction is proposed. In terms of signage and displays, the applicant would be required to meet the standards noted in the zoning ordinance.
- G. The proposed conditional use complies with all other requirements of these regulations applicable to the proposed conditional use and, in particular, the requirements of Chapters 19 and 20.
The proposed use would appear to comply with all other requirements.
- H. The proposed conditional use is not materially detrimental to the public health, safety, convenience and welfare, or results in material damage or prejudice to other property in the vicinity.
Overall, the proposed use is not detrimental to public health, safety or welfare.

Public Notice

Public notice was provided to the Town's Official Newspaper for publication on May 25th, 2016. Letters were also sent to property owners' within 400' on June 8th, 2016. The total number of letters sent was thirteen (13). As of the release of the staff memo, no responses had been received. .

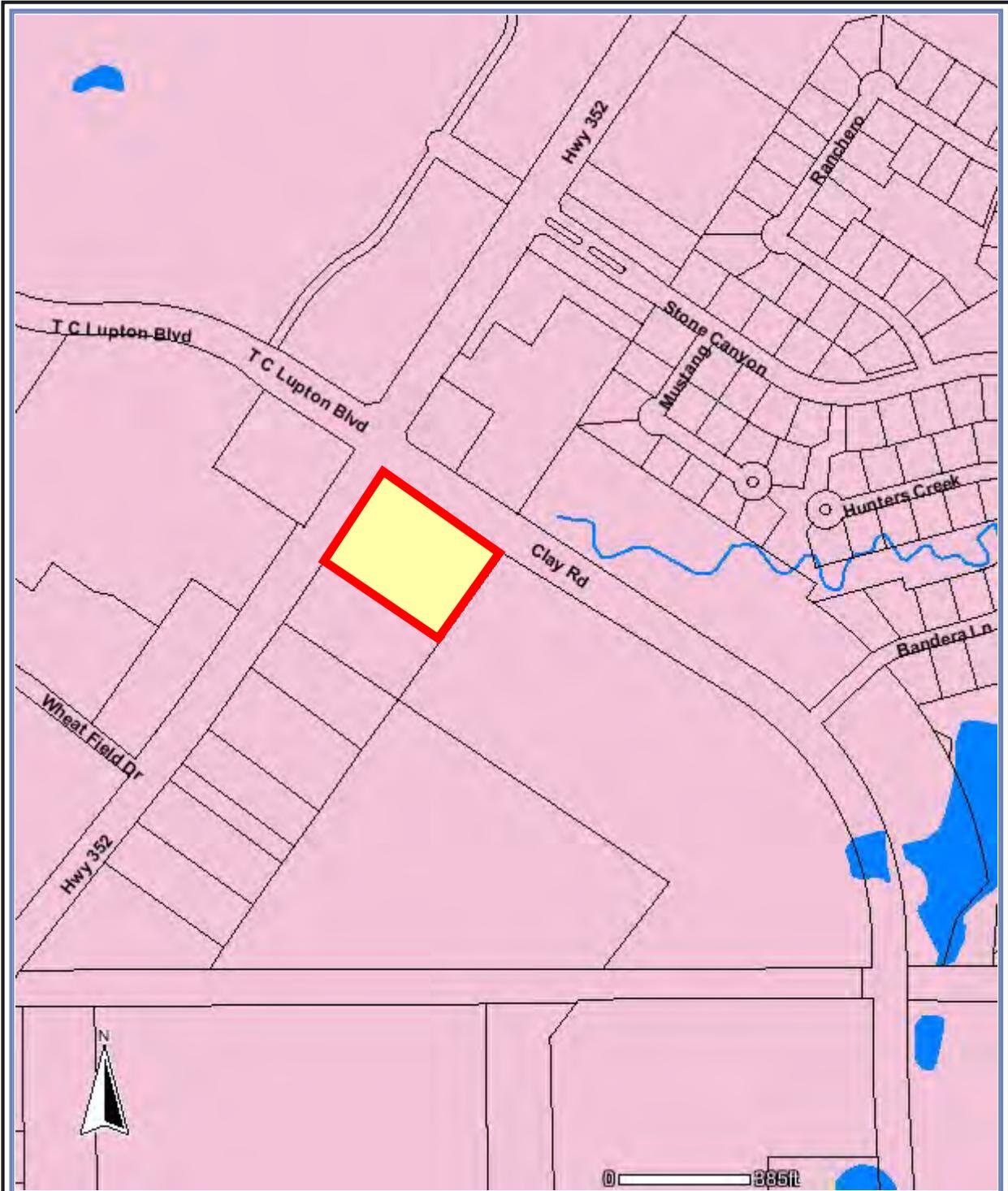
Staff Recommendation

Staff outlined comments to each of the standards above. Such comments were provided within underlined italics. Should the Planning and Zoning Commission determine that such use meets the standards noted above; Town staff would recommend the following conditions:

1. The applicant would need to submit the necessary sign permit information for review and approval by the Town prior to placement on the property.
2. The applicant would need to obtain a Certificate of Occupancy for the unit from the Town of Sunnyvale. Application for such Certificate would need to be submitted to the Building Official.

Attachments

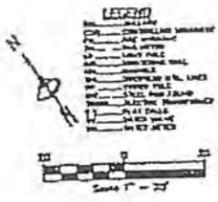
- Location Map
- Conditional Use Permit Application statement submitted by the applicant
- Site Plan with proposed location of trucks highlighted submitted by the applicant
- Aerial



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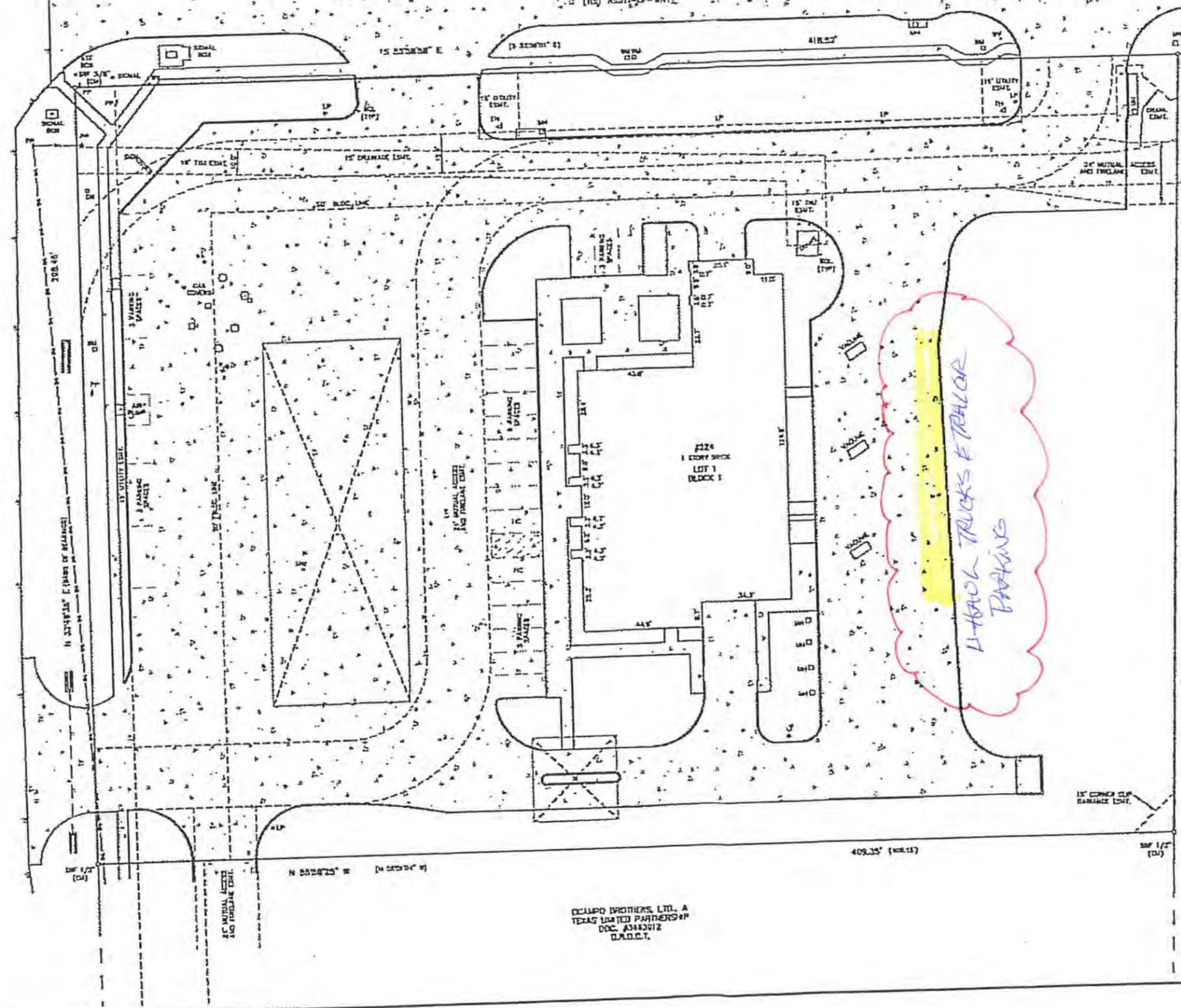
DISCLAIMER

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.



SOUTH COLLINS ROAD TX-352
(100' RIGHT-OF-WAY)

CLAY ROAD
(100' RIGHT-OF-WAY)



- NOTES**
1. The bearings shown herein are based on Tower Convenience Store, an addition to the Town of Sunnyvale, Dallas County, Texas according to the plat thereof recorded in Instrument No. 20070430001, Dallas Public Records, Dallas County, Texas.
 2. The following items are from Schedule B, Commitment for This Tract, Survey, The Guaranty Company, of No. 11-1971074 H, issued October 8, 2014.
 3. The following easement(s) and/or building line(s) affecting the subject property are shown on Plat thereof recorded in Instrument No. 20070430001, Dallas Public Records, Dallas County, Texas:
 - 24' mutual access and egress easement easement easement.
 - 15' utility easement along the Northwest corner.
 - 5' building line along the Northwest and Northeast corners.
 - 24' mutual access easements in egress purpose and easement corner.
 - 15' x 12' corner (8) easement in the southeast corner.
 - 15' parking easement across the Northeast portion of lot.
 - 12' TAU easement across the Northeast portion of lot.
 - 15' utility easements along the Northeast line.
 - 15' TAU easement in the Northeast portion of the lot.
 - Drainage easement over the eastern corner.

PLAT NOTE
According to the F-12531, 4481 EXCISES, this property shall be in "Zone 2" and shall not be within the 100-year flood zone.

HEWARD PROPERTIES, LTD., A
TEXAS LIMITED PARTNERSHIP
DOC. #201300387836
D.R.C.C.T.

To: W. Douglas Distribution, LTD., Capital Square, Street The Guaranty Company
The survey data and this plat represents the results of a survey made on the ground on the 20th day of November, 2014.
Signed this day of November, 2014.



**BOUNDARY SURVEY
OF
LOT 1, BLOCK 1
TOWER CONVENIENCE STORE**

KNOWN AS
224 SOUTH COLLINS ROAD
TOWN OF SUNNYVALE
SITUATED IN THE
T.D. COATS SURVEY, ABSTRACT No. 331,
DALLAS COUNTY, TEXAS

OCAMPO BROTHERS, LTD., A
TEXAS LIMITED PARTNERSHIP
DOC. #3443072
D.R.C.C.T.

TerraCorp Associates LLC
3980 Broadway Blvd. Ste 236
Garden, TX 75043
ph. 972-805-4526, fax 972-805-4526
www.terraCorpsurvey.com TOLPS Reg No. 101858-00

DRAWING CONTINUING ON P1



Town of Sunnyvale

June 20, 2016

Prepared By: **Rashad Jackson, AICP**
Director of Development Services

Summary:

APPLICANT: BILL FOOSE
AT OR ABOUT: 2718 BELT LINE ROAD APPROX. 11.53 ACRES
REQUEST: SITE PLAN – SALONS ELITE /BELT LINE VENTURE

Background:

The subject property is located at or about 2718 Belt Line Road. The applicant requests approval of a proposed site plan for the future development of a Salons Elite establishment. Salons Elite is a beauty salon that is comprised of multiple independent salon owners, with their own private, individual suites to perform hair and spa services. The subject property, located within a Local Retail zoning district is 11.53 acres in size. The individual building site is approximately 2 acres of the overall 11.53 acre property. The proposed use is allowed by right within the Local Retail District.

Belt Line Road Overlay District: The proposed building lies within the Belt Line Road Design Overlay District. The primary objectives of the overlay districts are to create and reflect a high level of architectural design appeal throughout the Town. The applicant proposes to construct a 12,435 sq.ft. building on the subject property. The building is subject to regulations noted in the corresponding design overlay district criteria for site design details. The building is also subject to general zoning district regulations for the proposed non residential use.

Plans show a one-story masonry building with an articulated facade and one main entry. The main entry will face Belt Line Road. The entry will be recessed underneath a protruding roof supported by a colonnade. Details of the design are as follows:

- Building height: Single story with hip style roof
- Access: The main entry will face Belt Line Road. Two access points will be provided for along Belt Line Road. The service entrance and trash pickup will be in the rear on the east side of the development.
- Building exterior / façade: The proposed building exterior will be cladded primarily in brick and stone. Various masonry styles will be used as accents to create visual appeal on all facades. A metal roof will be located above the main entry to provide variety in roof style.
- Building articulation: The design guidelines require building elevations that face the right of way to have articulation. The applicant has addressed this articulation requirement along the north, south and west elevations as required.
- Sidewalks: Per development requirements, a sidewalk should be located along Belt Line Road right of way. A 6 foot curvilinear sidewalk has been shown along right of way. Paving plans show interior sidewalks throughout the development to accommodate pedestrian activity to and from the building.

- Off-street parking: Required parking shall be 1 space per 200 sq.ft. (62 required spaces). The applicant has submitted plans exceeding this requirement (136 parking spaces proposed). The parking will accommodate the proposed use and additional future uses of the development.
- Lighting: At this time the applicant does not plan to use pole lighting throughout the development. The building itself will be lighted with down lights. If and when pole lights are proposed, the lights will be subject to review by staff for compliance with town standards.
- Parking lot plantings/Perimeter parking lot plantings: Design guidelines require parking areas to be screened. All parking lot screening will be maintained at least thirty six inches (36") in height. Berming, planting screens or low profile walls are allowed per design criteria standards. The applicant has used plant screens and shrubbery.
- Landscape Buffer and Land Use Screening: Proposed details shown meet the standards set forth in the zoning and overlay districts. Shrubs will screen the parking spaces and additional trees will be added throughout the site. Landscape plans show that the site will be heavily landscaped.

Future Development Details

When developed in the future, the property owner (Belt Line Venture) should be aware of the following regulations for screening and buffering of land uses. In accordance with zoning requirements, landscaping and a masonry wall should screen the non-residential development from abutting residential uses. The Town zoning ordinance stipulates the following for land use buffers and screening.

- Residential buffer for non-residential uses:
One large tree shall be planted on 40-foot centers or one small tree planted on 30-foot centers. The developer of any commercial property adjacent to any residentially zoned property shall provide a ten (10) foot wide buffer between the residential property and the building or parking areas.
- Industrial and Commercial Screening.
Where a proposed industrial or commercial use abuts land planned or zoned for residential use, a solid masonry screening wall not less than eight (8) feet in height in I and HC districts and **not less than six (6') feet in height for all other nonresidential districts shall be erected and maintained along or within one (1) foot of the property line that divides the two districts.**
- Masonry Walls
Masonry walls shall be of the height specified and be constructed from natural stone, cast stone, face brick or pierced brick. Precast or prefabricated panels or cast-in-place concrete shall not be used. All masonry walls and foundations shall be designed by a registered professional engineer and construction plans for the wall shall bear the seal of the design engineer. Match existing masonry screening wall.

Public Notice

Notice was published within the Town's Official Newspaper on May 25th, 2016. Letters were also provided to surrounding properties meeting the distance requirements as provided within the Ordinance. Nineteen (19) letters were sent. As of the writing of this staff memo, no letters had been returned either in favor or in opposition of the request.

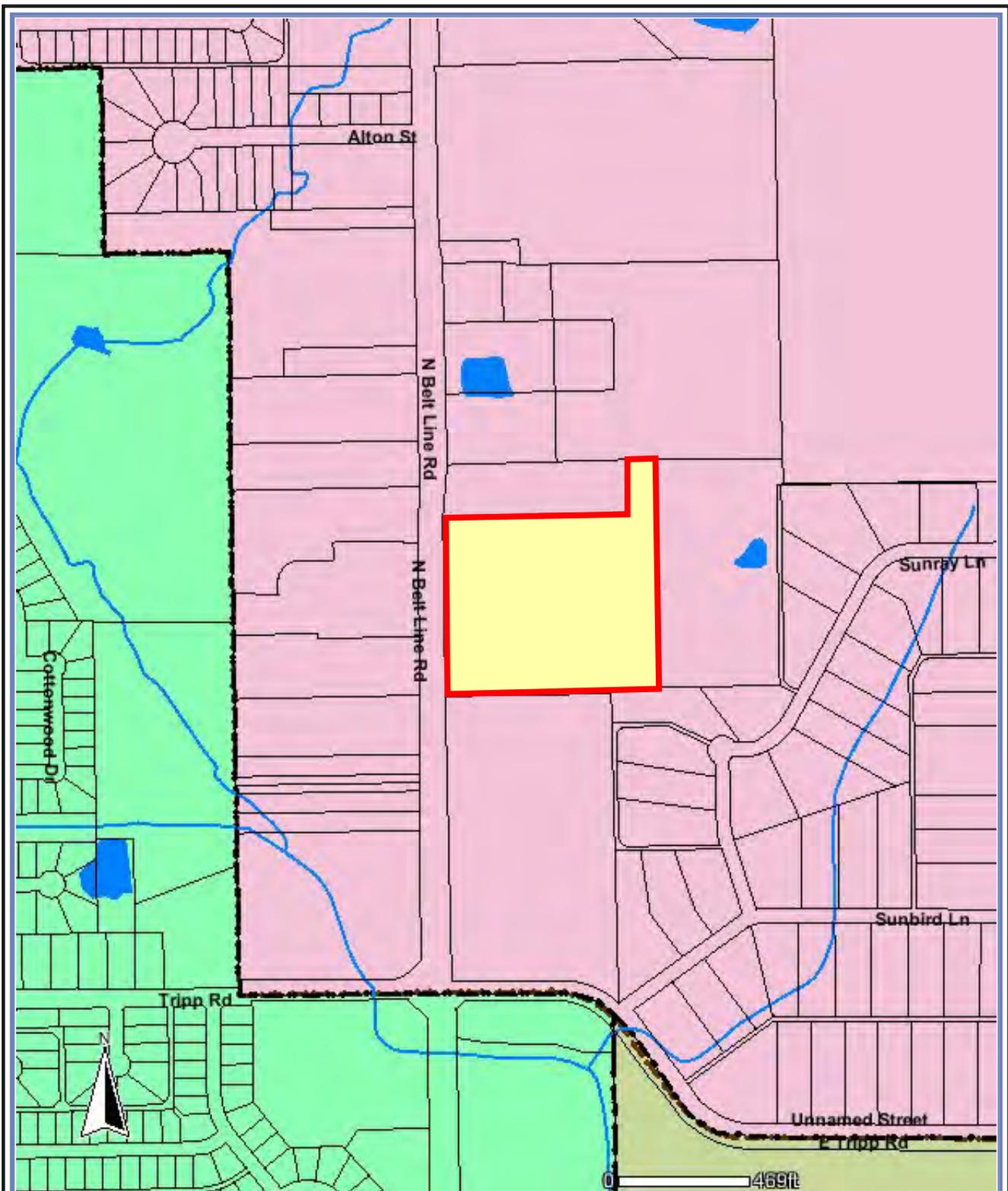
Staff Recommendation

Town staff has the following comments/recommendation for consideration:

1. Town staff recommends approval contingent to all Town comments being satisfactorily addressed prior to construction.
2. Town engineering does not recommend accepting the proposed southern access drive as a public right of way. In the future it should be noted as a mutual access drive for the development.

Attachments

- Location Map
- Proposed Site Plan Exhibits

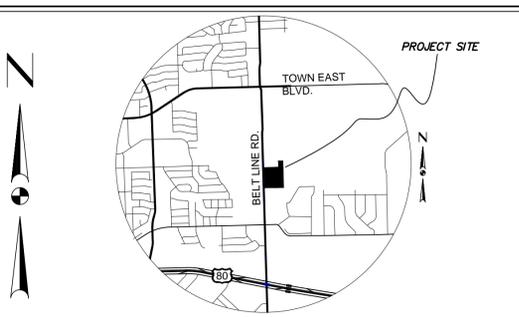
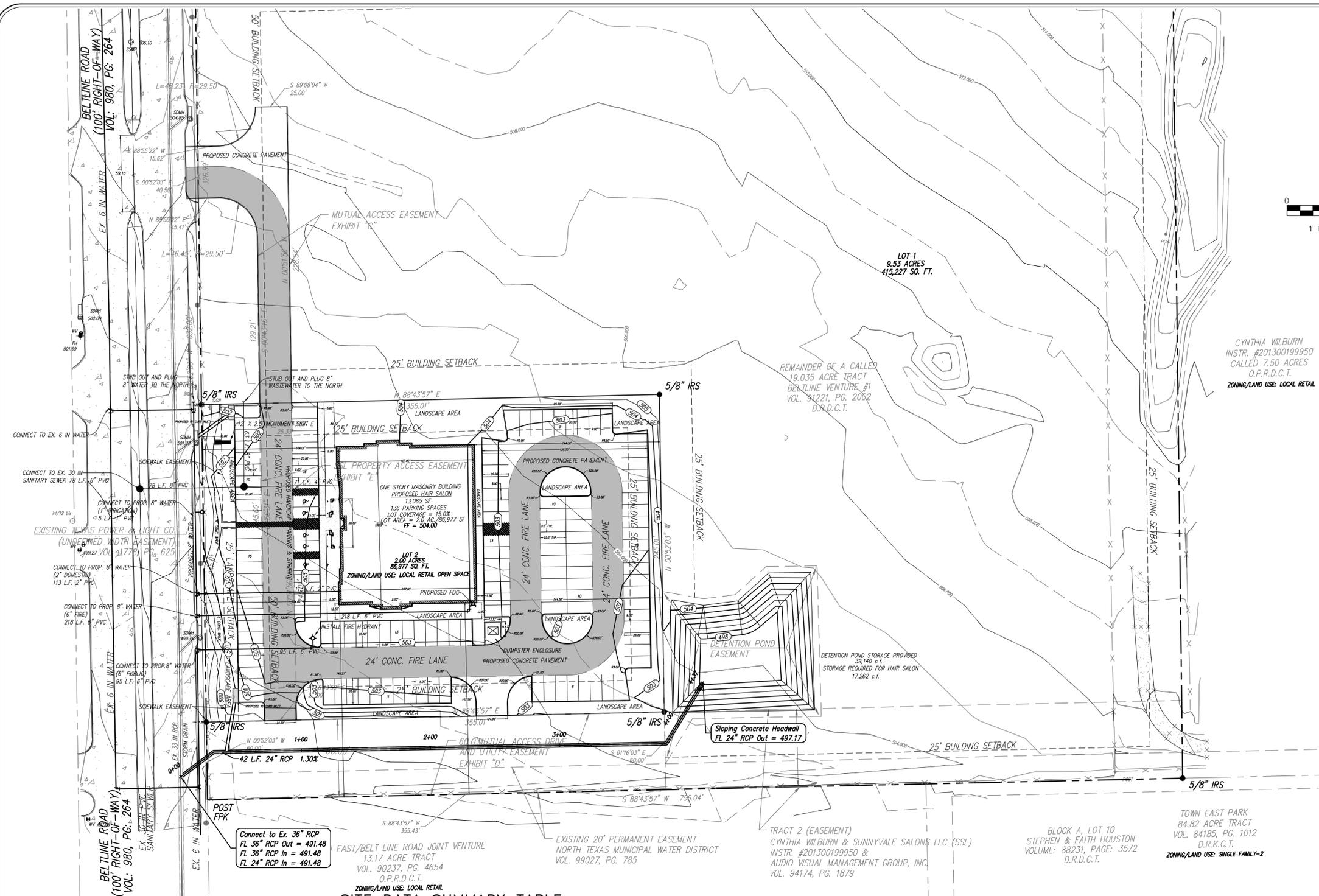


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Jun 10, 2016 4:17pm John Kennedy G:\Projects\15630_BeltlineVenture_11ac\dwg\SUNNYVALE SALONS SITE PLAN_03.dwg



**TOWN OF SUNNYVALE
GENERAL NOTES**

- GENERAL**
- All construction shall be in accordance with the North Central Texas Council of Governments "Standard Specifications for Public Works Construction" and the Town of Sunnyvale's addendum thereto.
 - Before beginning construction, the contractor shall prepare a construction sequence schedule. The construction schedule shall be such that there is the minimum interference with traffic along or adjacent to the project.
 - Construction may not be begun earlier than 7:00 A.M. on weekdays nor continued after dark without permission from the Town of Sunnyvale. Construction on Saturday may not be begun before 8:00 A.M. and work on Sunday is prohibited without special permission.
 - Utilities shown on the plans were taken from field surveys and information provided by the utility companies. The completeness and the accuracy of this data is not guaranteed. The contractor is responsible for verifying the location of all underground utilities and structures and protecting them from damage during construction.
 - Contact Texas One Call System 1-800-245-4545 at least 48 hours before excavating.
 - Work may not be backfilled or covered until it has been inspected by the Town.
 - Material testing shall be performed by an independent testing laboratory and paid for by the Contractor.
 - All excavation on the project is unclassified.
 - Utility companies and contractors shall obtain a street cut permit before disturbing any pavement in public right-of-way.
 - The contractor shall maintain two-way traffic at all times along the project.
 - Remove, salvage and replace all street and traffic control signs which may be damaged by the construction of the project.
 - All trenching and excavation shall be performed in accordance with OSHA standards.

- GRADING**
- Top soil shall not be removed from residential lots or used as spoil, but shall be stripped and redistributed so as to provide at least six (6) inches of cover on the lots, parkways and medians. Permanent erosion control measures shall be provided throughout the development prior to final acceptance of the improvements.
 - Temporary erosion control shall be used to minimize the spread of silt and mud from the project on to existing streets, alleys, drainages and public and private property. Temporary erosion controls may include silt fences, straw bales, berms, dikes, swales, strips of undisturbed vegetation, check dams and other methods as required by the Town Administrator or his representative and as specified in the North Central Texas Council of Governments Construction (N.C.T.C.O.G.) BMP Manual.
 - All street rights-of-way, regardless of slope, all finished grade slopes that are steeper than 6:1; and the flow lines of all drainage ditches and swales shall be completely covered with erosion control matting as specified in the North Central Texas Council of Governments Construction (N.C.T.C.O.G.) BMP Manual.
 - Grass shall be established on the slopes of all drainage channels that are steeper than 6:1. Grass shall meet the requirements of the Standard Specifications of the Texas Department of Transportation.
 - All permeable surfaces within the development shall be graded to a smooth and uniform appearance that can be easily mowed with a small residential riding lawn mower.

- PAVING**
- All embankment shall be compacted to 95% Standard Proctor density.
 - All streets and alleys shall be placed on lime stabilized subgrade with a lime content of not less than 6%.
 - The minimum 28 day compressive strength of concrete street paving shall not be less than 3600 psi and shall be air entrained. Water may not be applied to the surface of concrete paving to improve workability.
 - All curb and gutter shall be integral with the pavement.
 - Parabolic crowns are required on all street pavement except on major thoroughfares where straight sections are required.
 - Streets and alleys shall be constructed with provisions for sidewalk ramps at all intersections.
 - Fire lanes shall be constructed with 7" 3600 psi concrete with #3 rebar on 18 inch centers in both directions.

- DRAINAGE**
- Storm sewer pipe shall be reinforced concrete, Class III unless otherwise noted.
 - All structural concrete shall be Class "C" (3600 p.s.i. compressive strength at 28 days), air entrained.
 - The contractor shall install plugs in storm sewer lines or otherwise prevent mud from entering the storm sewer system during construction.

- WATER AND SANITARY SEWER**
- Water mains shall be AWWA C-900 PVC Class 150 unless otherwise noted. Minimum cover for waterlines is 48" or as required to clear existing utilities, whichever is greater.
 - Marking tape shall be installed over PVC water lines.
 - Fittings for PVC water lines shall be ductile iron and be encased in a polyethylene sheath.
 - Compact ductile or cast iron fittings may not be used.
 - Valves shall be Mueller resilient seat gate valves.
 - All direct burial valves shall be provided with cast iron valve boxes with PVC stacks. Valve stacks shall be vertical and concentric with the valve stem. Stainless steel valve extensions are required on all valves where the operating nut is greater than 4 feet below finished grade.
 - Fire hydrants shall be Mueller Centurion and be field painted and color coded as directed by the Sunnyvale Fire Chief.
 - The distance from fire hydrants to the edge of pavement for public streets or edge of fire lane shall not exceed five feet unless otherwise permitted by the Town Engineer.
 - All sanitary sewer lines and manholes shall be leak tested before the project is accepted. Deflection testing of PVC sewer lines is required.

- WARRANTY**
- The Contractor shall maintain the required public improvements for a period of two (2) years following acceptance by the Town and shall provide a maintenance bond in the amount of 100% of the costs of the improvements.
 - Thirty days prior to the expiration of the warranty, the Contractor shall notify the Town of the approaching end of the two-year warranty. In the event the Contractor fails to notify the Town of the end of warranty, the warranty and bond shall automatically be extended to end thirty days after notice of end-of-warranty is filed with the Town.

CYNTHIA WILBURN
INSTR. #201300199950
CALLED 7.50 ACRES
O.P.R.D.C.T.
ZONING/LAND USE: LOCAL RETAIL

REMAINDER OF A CALLED
19.035 ACRE TRACT
BELTLINE VENTURE #1
VOL. 94221, PG. 2002
D.R.D.C.T.

TOWN EAST PARK
84.82 ACRE TRACT
VOL. 84185, PG. 1012
D.R.K.C.T.
ZONING/LAND USE: SINGLE FAMILY-2

BLOCK A, LOT 10
STEPHEN & FAITH HOUSTON
VOLUME: 88231, PAGE: 3572
D.R.D.C.T.

TRACT 2 (EASEMENT)
CYNTHIA WILBURN & SUNNYVALE SALONS LLC (SSL)
INSTR. #201300199950 &
AUDIO VISUAL MANAGEMENT GROUP, INC.
VOL. 94174, PG. 1879

EXISTING 20' PERMANENT EASEMENT
NORTH TEXAS MUNICIPAL WATER DISTRICT
VOL. 99027, PG. 785
O.P.R.D.C.T.
ZONING/LAND USE: LOCAL RETAIL

EAST/BELT LINE ROAD JOINT VENTURE
13.17 ACRE TRACT
VOL. 90237, PG. 4654
O.P.R.D.C.T.
ZONING/LAND USE: LOCAL RETAIL

Connect to Ex. 36" RCP
FL 36" RCP Out = 491.48
FL 36" RCP In = 491.48
FL 24" RCP In = 491.48

SITE DATA SUMMARY TABLE

GENERAL SITE DATA		IMPERVIOUS AREA		PARKING		LANDSCAPE AREAS (INCLUDING TURF AREAS)	
ZONING	LR- LOCAL RETAIL	BUILDING AREA FOOTPRINT	13,085 SQ. FT.	PARKING RATIO		LANDSCAPE BUFFER AREA PROVIDED	
LAND USE	OPEN SPACE	AREA OF SIDEWALKS, PAVEMENT & OTHER IMPERVIOUS FLATWORKS	51,369 SQ. FT.	TOTAL REQUIRED PARKING	63 SPACES	WEST SIDE, 25 FT. WIDE	6,125 SQ. FT.
LOT AREA	2.00 ACRES	TOTAL IMPERVIOUS AREA	64,454 SQ. FT.	1 SPACE/200 SF OF BUILDING		NORTH SIDE, 10 FT. WIDE	3,550 SQ. FT.
BUILDING FOOTPRINT	13,085 SQ. FT.			PROVIDED PARKING	136 SPACES	EAST SIDE	2,450 SQ. FT.
TOTAL BUILDING AREA	13,085 SQ. FT.			ACCESSIBLE PARKING REQUIRED	5 SPACES	SOUTH SIDE	3,550 SQ. FT.
BUILDING HEIGHT	1 STORY			ACCESSIBLE PARKING PROVIDED	5 SPACES		
BUILDING HEIGHT	39'-3"					PARKING LOT AREA	47,895 SQ. FT.
LOT COVERAGE	15.0%					PARKING LOT LANDSCAPE AREA	4,789 SQ. FT.
FLOOR AREA RATIO	.15:1					REQUIRED (% OF PARKING LOT AREA)	10%
						PARKING LOT LANDSCAPE PROVIDED	4,805 SQ. FT.
						OTHER LANDSCAPE AREAS PROVIDED	6,350 SQ. FT.
						AROUND BUILDING	
						TOTAL LANDSCAPE AREA	26,830 SQ. FT.

FLOOD STATEMENT: According to Community Panel No. 48113C0390K, dated July 7, 2014 of the Federal Emergency Management Agency, National Flood Insurance Program map, this property is within Flood Zone "X", which is not a special flood hazard area.

If this site is not within an identified special flood hazard area, this flood statement does not imply that the property and/or structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This statement shall not create liability on the part of the Surveyor.

**BELTLINE VENTURE ADDITION
LOTS 1 & 2, BLOCK A
502,204 SQ. FT. OR 11.53 AC.**

PART OF
A CALLED 19.035 ACRE TRACT OF LAND OUT OF
HENRY J WEBB SURVEY, ABSTRACT NO. 1588
IN THE
TOWN OF SUNNYVALE, DALLAS COUNTY, TEXAS

OWNER
BELTLINE VENTURE NO 1
C/O HOUSEMAN PROPERTIES
3838 OAK LAWN STE 1720
DALLAS, TEXAS 75219
214-336-9303

SALCEDO GROUP, INC.
REGISTRATION NO. F-5482
CONCEPTUAL - FOR INTERIM
REVIEW ONLY
THESE DOCUMENTS ARE FOR INTERIM REVIEW AND NOT INTENDED FOR CONSTRUCTION, BIDDING, OR PERMIT PURPOSES. THEY WERE PREPARED BY, OR UNDER THE SUPERVISION OF:
LUIS M. SALCEDO - PE #44267 DATE

Texas P.E. F-5482 ; Texas TBPLS Firm License 10070800

SITE PLAN

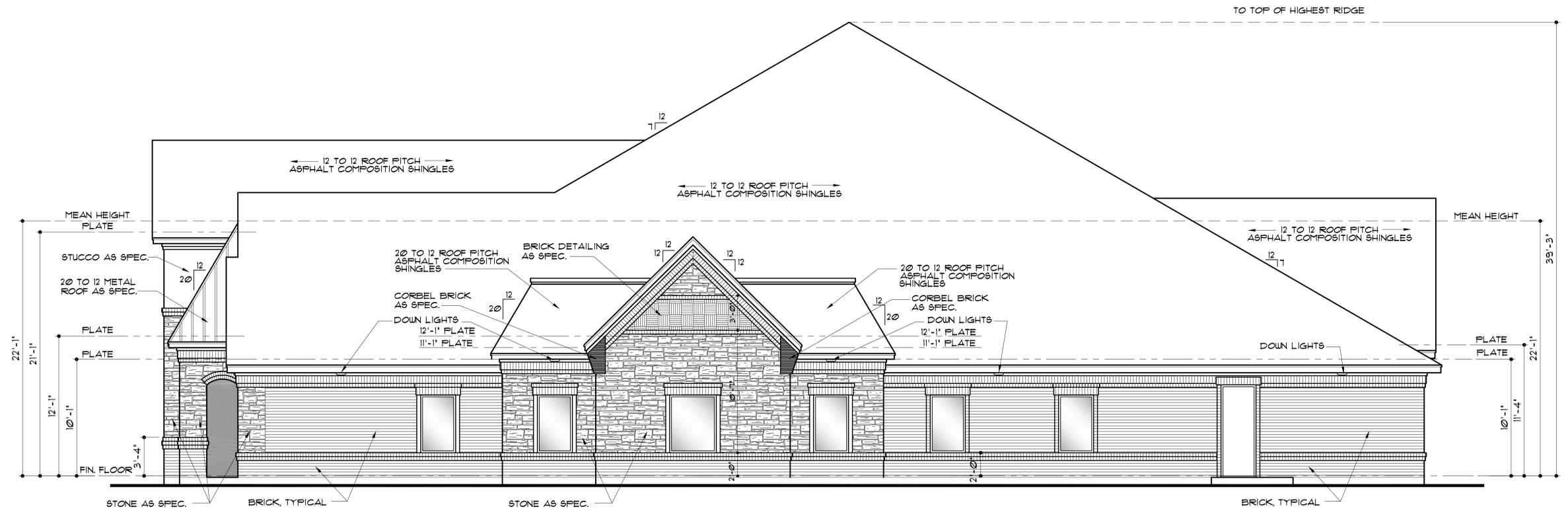
SUNNYVALE SALONS
TOWN OF SUNNYVALE, TEXAS

DATE: 06.10.2016
REVISION DATE: 06.10.2016
DRAWN BY: SGI
CHECKED BY: LMS

Salcedo Group, Incorporated
Civil Engineers - Surveyors
400 South Zang Boulevard, Suite No. 1420 - Dallas, Texas 75208
Phone: (214) 941-8610, Fax: (214) 941-2331 www.salcedogroupinc.com



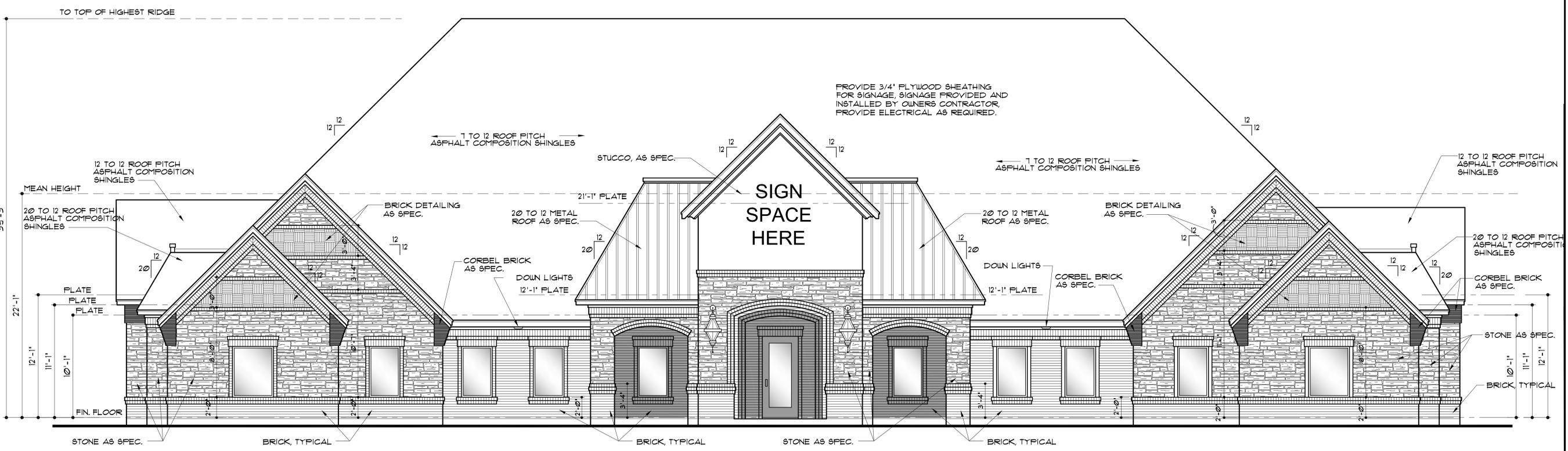
C1



2

SCALE: 1/4" = 1'-0"

RIGHT SIDE (SOUTH) ELEVATION



1

SCALE: 1/4" = 1'-0"

FRONT (WEST) ELEVATION

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wood-stovall
 architects / designers

NOT FOR PERMIT REGULATORY APPROVAL OR CONSTRUCTION
 17 MAY 16

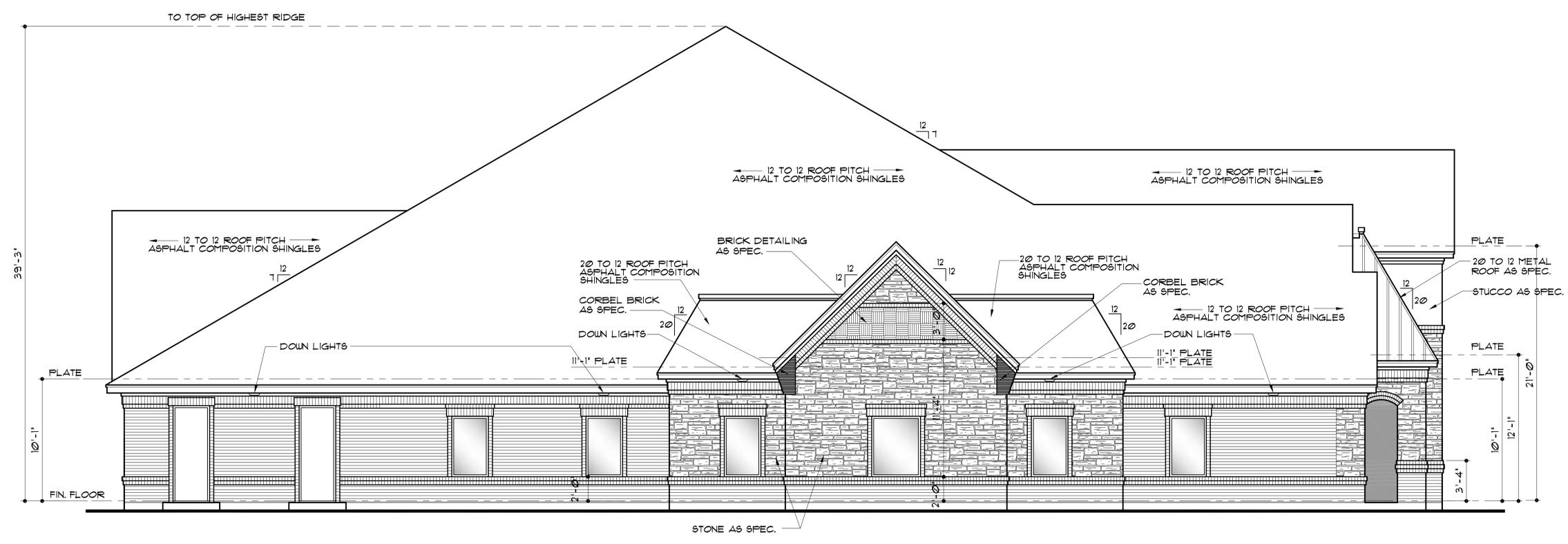
Date: 5-17-16

Drawn:

Job:

Sheet
A102

Of Sheets



2
 SCALE: 1/4" = 1'-0"
 LEFT SIDE (NORTH) ELEVATION

2201 cottle firm phy,
 suite 105
 fort worth, tx 76104
 info@woodstovall.com
 817.352.1111

wood-stovall
 architects / designers

NOT FOR PERMIT
 REGULATORY
 APPROVAL OR
 CONSTRUCTION
 17 MAY 16

Date: 5-17-16
 Drawn:
 Job:
 Sheet
A103
 Of Sheets

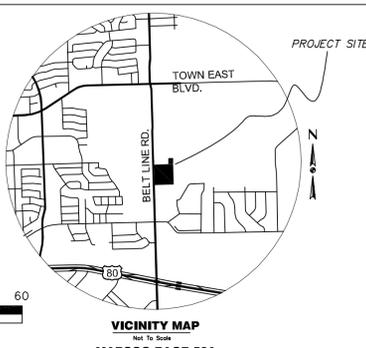
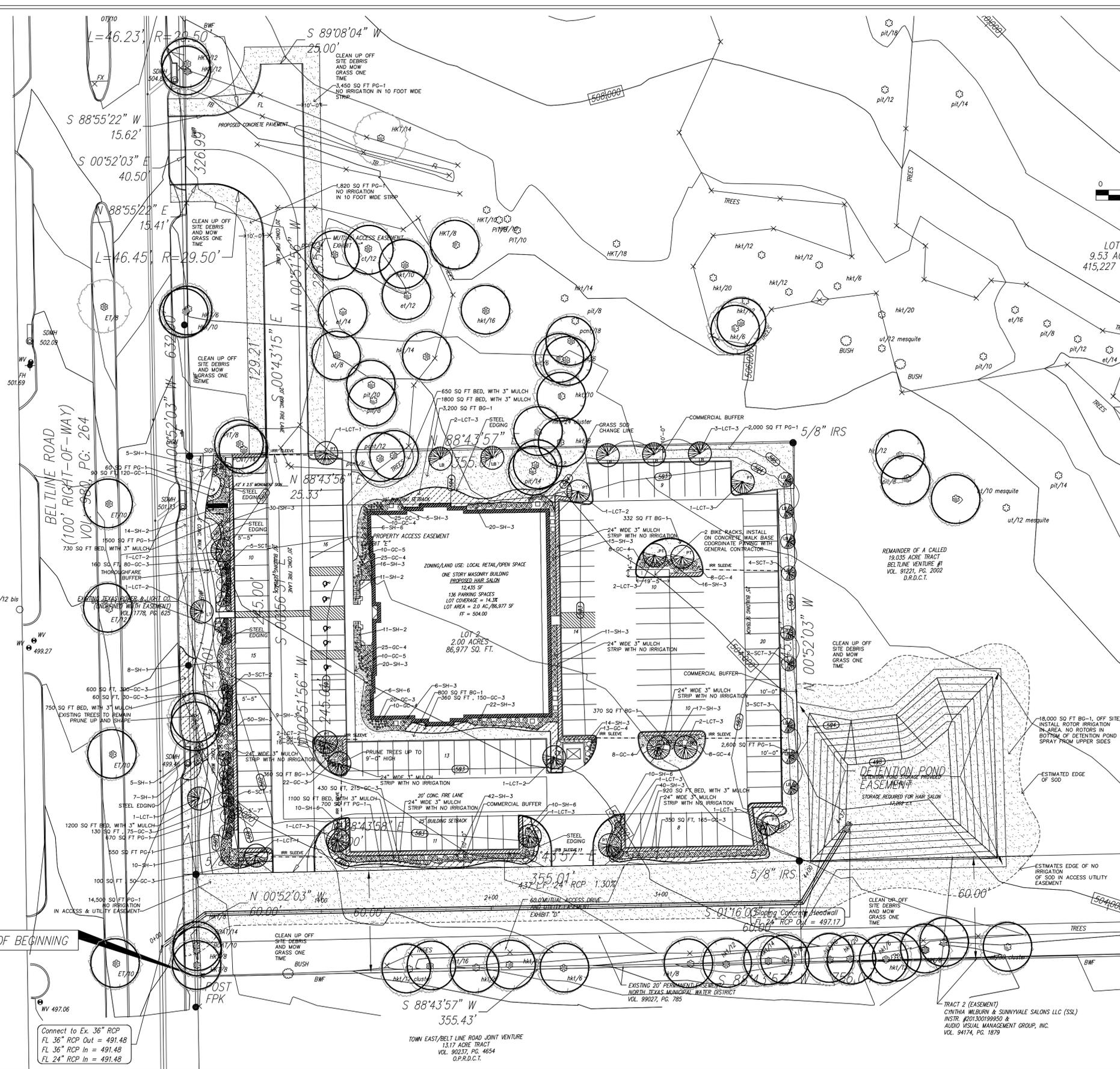


**Salons
Elite**

860







T.H. Pritchett / Associates
 LANDSCAPE ARCHITECTS
 1218 CAMINO LAGO
 IRVING, TEXAS 75039
 214-697-2580
 tom@landdesignplan.com

BELTLINE VENTURE ADDITION
 LOTS 1 & 2, BLOCK A
 502,204 SQ. FT. OR 11.53 AC.
 PART OF
 A CALLED 19.035 ACRE TRACT OF LAND OUT OF
 HENRY J WEBB SURVEY, ABSTRACT NO. 1588
 IN THE
 CITY OF SUNNYVALE, DALLAS COUNTY, TEXAS

TOWN OF SUNNYVALE, LANDSCAPE STANDARDS

REQUIRED	PROPOSED
2.50 ACRES	86,977 SQ FT
25 FEET	25 FEET
(5) LARGE TREES	(3) NEW LARGE TREES (2) EXISTING LARGE TREES
(9) LARGE TREES	(5) LARGE TREES & (4) EXISTING TREES
(9) SMALL TREES	(9) SMALL TREES
(12) SMALL TREES	(12) SMALL TREES
(14) 3" TREES	(14) 3" TREES
(35) 5 GAL SHRUBS	(35) 5 GAL SHRUBS
YES	YES
YES	YES
NOT ON SITE PLAN	NOT REQUIRED
YES	YES

LANDSCAPE PLAN LEGEND

- 1-LCT-2 QUANTITY OF PLANTS
- 50 FT OF LANDSCAPE PREPARATION REQUIRED
- 100 SQ FT L.A.
- 100 SQ FT-50-GC-1 50 FT OF GROUND COVER NOTED, AND QUANTITY REQUIRED
- 100 SQ FT BG-1 50 FT OF BERMUDA GRASS NOTED
- RR-SLEEVE IRRIGATION SLEEVES
- RR-SLEEVE IRRIGATION WATER SUPPLY, 4" MINES 2" OR AS NOTED ON PLAN

LANDSCAPE PLANT SYMBOLS

- EXISTING TREE TO REMAIN ON SITE PROJECT; SEE SH-1 TREE PRESERVATION PLAN FOR NOTES
- LANDSCAPE THORNOUGHFARE BUFFER TREES (1) ONE PER 50 FEET REQUIRED (2) TWO ADJUSTABLE BUBBLERS EACH
- PARKING LOT TREE LARGE TREE 1 PER 15 SPACES AND PARKING ISLANDS (2) TWO ADJUSTABLE BUBBLERS EACH
- LANDSCAPE BUFFER (1) ONE PER 100 FEET 3" CALIPER (2) ONE PER 100 FEET 2" CALIPER (2) TWO ADJUSTABLE BUBBLERS EACH
- ORNAMENTAL TREE, 3" CALIPER 1" MIN CANES (2) ONE PER 100 FEET 3" CALIPER (2) TWO ADJUSTABLE BUBBLERS EACH
- EMERGENCY LARGE SHRUBS FOR SCREENING (2) TWO ADJUSTABLE BUBBLERS EACH (2) TWO ADJUSTABLE BUBBLERS EACH
- EMERGENCY SHRUBS FOR LANDSCAPE BUFFER
- PARKING LOT SCREENING SHRUBS (2) ONE PER 100 FEET 3" CALIPER (2) TWO ADJUSTABLE BUBBLERS EACH
- SMALL SHRUBS FOR ACCENT
- GROUND COVER PLANTS AS NOTED
- GROUND COVER SPREADING 4" POTS
- GROUND COVER SPREADING 4" POTS
- BERMUDA GRASS, ROLL TWO TIMES, SEE DETAILS

SOIL AMENDMENT NOTES

- SOIL AMENDMENT 'A' FOR SHRUB AND GROUND COVER BEDS (GENERAL)
- PRIOR TO SOIL AMENDING, THE SUB-GRADES SHALL BE 8" BELOW FINISH GRADE TO ALLOW FOR THE FOLLOWING AMENDMENTS AND FERTILIZER: THE LAYER OF SOIL AMENDMENTS SHALL BE 4" DEEP WITH A LAYER OF MULCH 3" DEEP AS SPECIFIED, LEAVING A FINISH GRADE OF 2" BELOW THE ADJACENT PAVED AREA, EXCAVATION AND/OR FILL MAY BE REQUIRED TO ACHIEVE THESE GRADES.
- APPLICATION RATES FOR SOIL AMENDMENTS:
 - A) ORGANIC SOIL CONDITIONER - 2 LAYER
 - B) TOPSOIL - 2" LAYER
 - C) FERTILIZER - OZMODOCITE PLUS 15-9-12, 10 LBS./1,000 SQ. FT. OF BED AREA
- AMENDMENTS SHALL BE UNIFORMLY SPREAD AND THOROUGHLY CULTIVATED IN A LIGHT AND FRIBLE CONSISTENCY BY MEANS OF A MECHANICAL ROT TILLER INTO THE TOP 2" OF SUB-GRADE WHICH WILL MAKE A BED OF APPROXIMATELY 6 INCHES TOTAL DEPTH OF AMENDED SOIL.
- SOIL AMENDMENT 'C' PREPARED BACK FILL FOR TREES AND LARGE SHRUBS (3 GALLON AND LARGER)
 - 1. BACK FILL MIX. PRIOR TO BACK FILL PROVIDE TREE DRAIN AND GRAVEL.
 - 2. TOPSOIL - 3 PARTS
 - 3. COMPOST - 2 PARTS
 - 4. SHARP SAND - 1 PART
- SOIL AMENDMENT 'E' SOIL PREPARATION FOR LAWN AND GRASS AREAS
 - 1. PRE-PLANT WEED CONTROL: ROUND-UP TO BE APPLIED UNIFORMLY TO TREAT FOR WEEDS. FLOW ALL MANUFACTURERS DIRECTIONS.
 - 2. SOIL AMENDMENTS FOR LAWN AND GRASS AREAS:
 - A) FOR HYDRO-SEEDING PREPARATION AND SOIL SOD OPERATIONS, AMENDMENTS SHALL BE UNIFORMLY SPREAD AND THOROUGHLY CULTIVATED TO ALLOW FOR THE FOLLOWING AMENDMENTS AND FERTILIZER: THE LAYER OF SOIL AMENDMENTS SHALL BE 4" DEEP LEAVING A FINISH GRADE 1" BELOW THE ADJACENT PAVED AREA, EXCAVATION AND/OR FILL MAY BE REQUIRED TO ACHIEVE THESE GRADES.
 - APPLICATION RATES FOR SOIL AMENDMENTS:
 - A) TOP SOIL - 1/2" LAYER ON BASE OF CUT SOD
 - B) FERTILIZER OZMODOCITE PLUS 15-9-12, 10 LBS./1,000 SQ. FT. OF BED AREA
 - 3. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH GENERAL CONTRACTOR AND SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH PLANTING OPERATIONS.
 - 4. IF CONFLICTS ARISE BETWEEN SIZE OF AREAS AND PLANS, CONTRACTOR IS TO CONTACT LANDSCAPE ARCHITECT FOR RESOLUTION. FAILURE TO MAKE SUCH CONFLICTS KNOWN TO THE LANDSCAPE ARCHITECT WILL RESULT IN CONTRACTOR'S LIABILITY TO RELOCATE THE MATERIALS.
 - 5. ALL PLANT MATERIAL SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AND OWNER PRIOR TO INSTALLATION.
 - 6. FINAL LOCATION OF ALL PLANT MATERIAL SHALL BE SUBJECT THE APPROVAL OF THE LANDSCAPE ARCHITECT AND OWNER.

LANDSCAPE NOTES

- 1. CONTRACTOR SHALL BE RESPONSIBLE FOR BEING FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE OF SUCH UTILITIES.
- 2. CONTRACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS, AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AT (972)869-3535. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
- 3. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH GENERAL CONTRACTOR AND SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH PLANTING OPERATIONS.
- 4. IF CONFLICTS ARISE BETWEEN SIZE OF AREAS AND PLANS, CONTRACTOR IS TO CONTACT LANDSCAPE ARCHITECT FOR RESOLUTION. FAILURE TO MAKE SUCH CONFLICTS KNOWN TO THE LANDSCAPE ARCHITECT WILL RESULT IN CONTRACTOR'S LIABILITY TO RELOCATE THE MATERIALS.
- 5. ALL PLANT MATERIAL SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AND OWNER PRIOR TO INSTALLATION.
- 6. FINAL LOCATION OF ALL PLANT MATERIAL SHALL BE SUBJECT THE APPROVAL OF THE LANDSCAPE ARCHITECT AND OWNER.

LANDSCAPE PLANTING PLAN
Salcedo Group, Incorporated
Civil Engineers - Surveyors
 400 South Zang Boulevard, Suite No. 1420 - Dallas, Texas 75208
 Phone: (214) 941-8610, Fax: (214) 941-2331 www.salcedogroupinc.com
 DATE: 5.18.2016
 REVISION DATE: 5.18.2016
 DRAWN BY: JMK
 CHECKED BY: JMS
HAIR SALON SITE PLAN
BELTLINE VENTURE 11 AC.
 SGI
 LP1
 SGI Project No. 09XXX



Town of Sunnyvale

June 20, 2016

Prepared By: **Rashad Jackson, AICP**
Director of Development Services

Summary:

APPLICANT: BILL FOOSE
AT OR ABOUT: 2718 BELT LINE ROAD APPROX. 11.53 ACRES
REQUEST: PRELIMINARY PLAT – BELT LINE VENTURE
ADDITION, LOTS 1 & 2, BLOCK A

Background:

The subject property is located at or about 2718 Belt Line Road. The applicant requests approval for a proposed preliminary plat creating 2 new lots. Lot 2 will be used for the future development of a Salons Elite establishment. The individual building site is approximately 2 acres. The subject property, located within a Local Retail zoning district is 11.53 acres in size. The proposed use is allowed by right within the Local Retail District.

The plat contains 3 easements that will be recorded by separate instrument.

- A 60' mutual access easement on the south property line
- A 24' fire lane/mutual access easement throughout the interior portions of the property
- An off-site detention pond as required by Town development standards

All other details of the proposed plat meet the requirements of the Sunnyvale zoning ordinance and subdivision ordinance.

Public Notice

Notice was published within the Town's Official Newspaper on May 25th, 2016. Letters were also provided to surrounding properties meeting the distance requirements as provided within the Ordinance. Nineteen (19) letters were sent. As of the writing of this staff memo, no letters had been returned either in favor or in opposition of the request.

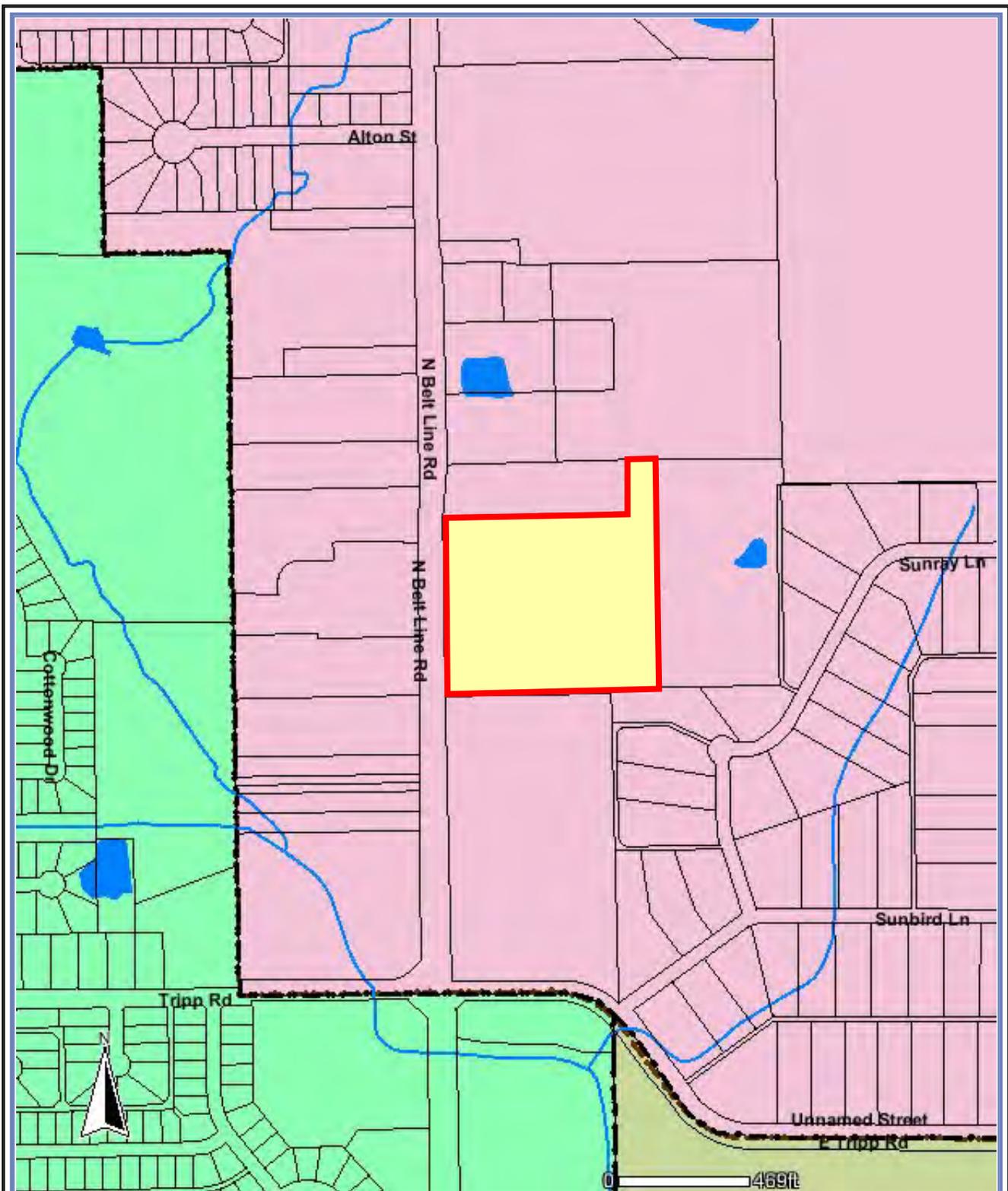
Staff Recommendation

Town staff has the following comments/recommendation for consideration:

1. Town staff recommends approval contingent to all Town comments being satisfactorily addressed prior to construction.
2. In the future, Town engineering does not recommend accepting the proposed 60' southern access drive as a public right of way. In the future it should continue to be noted and used as a mutual access drive for the development.

Attachments

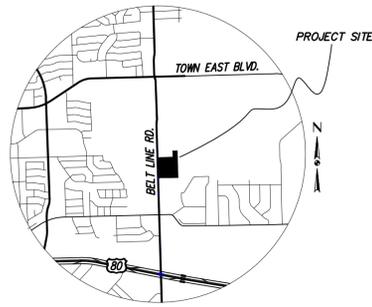
- Location Map
- Proposed Preliminary Plat



Dallas Central
Appraisal District
www.dallascad.org

DISCLAIMER

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.



VICINITY MAP
MAPSCO PAGE 50A

GENERAL NOTES:

1. BASIS OF BEARING: NAD 1983 STATE PLANE COORDINATES, TEXAS NORTH CENTRAL (4202). GEODETIC BEARING ESTABLISHED BY GPS MEASUREMENTS TAKEN ON 9/10/15. SOLUTIONS HAVE BEEN CALCULATED BY THE NATIONAL GEODETIC SURVEY, OPUS WEBSITE.
2. NOTICE: SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF TOWN SUBDIVISION ORDINANCE AND STATE PLATTING STATUTES AND IS SUBJECT TO FINES AND WITHHOLDING UTILITIES AND BUILDING CERTIFICATES.
3. NO LOT TO LOT DRAINAGE WITHOUT ENGINEERING APPROVAL.
4. BENCHMARKS:
 - 4.1. STORM DRAIN CURB INLET LID, APPROXIMATELY 105' SOUTH OF THE NORTHWEST PROPERTY CORNER OF THE SUBJECT TRACT, ON THE EAST SIDE OF BELTLINE ROAD, ELEVATION 504.85
 - 4.2. STORM DRAIN CURB INLET LID, APPROXIMATELY 356' SOUTH OF THE NORTHWEST PROPERTY CORNER OF THE SUBJECT TRACT, ON THE EAST SIDE OF BELTLINE ROAD, ELEVATION 501.33
5. THE PURPOSE OF THIS PLAT IS TO CREATE 2 LOTS.
6. "SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF TOWN SUBDIVISION ORDINANCE AND STATE PLATTING STATUTES AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING CERTIFICATES."
7. "THE DETENTION POND WILL BE MAINTAINED BY THE PROPERTY OWNERS."

OWNER'S DEDICATION

NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT BELTLINE VENTURE NO. 1, DOES HEREBY ADOPT THIS PLAT, DESIGNATING THE HEREIN DESCRIBED PROPERTY AS **BELTLINE VENTURE ADDITION**, AN ADDITION TO THE CITY OF SUNNYVALE, DALLAS COUNTY, TEXAS AND DO HEREBY DEDICATE, IN FEE SIMPLE, TO THE PUBLIC USE FOREVER ANY STREETS, ALLEYS, AND FLOODWAY MANAGEMENT AREAS SHOWN THEREON, THE EASEMENTS SHOWN THEREON ARE HEREBY RESERVED FOR THE PURPOSES INDICATED. THE UTILITY AND FIRE LANE EASEMENTS SHALL BE OPEN TO THE GENERAL PUBLIC, FIRE AND POLICE UNITS, AND GARBAGE AND RUBBISH COLLECTION AGENCIES, AND ALL PUBLIC AND PRIVATE UTILITIES FOR EACH PARTICULAR USE. THE MAINTENANCE OF PAVING ON THE UTILITY AND FIRE LANE EASEMENTS IS THE RESPONSIBILITY OF THE PROPERTY OWNER. NO BUILDINGS, FENCES, TREES, SHRUBS OR OTHER IMPROVEMENTS OF GROWTHS SHALL BE CONSTRUCTED, RECONSTRUCTED OR PLACED UPON, OVER AND ACROSS THE EASEMENT AS SHOWN. SAID EASEMENTS BEING HEREBY RESERVED FOR THE MUTUAL USE AND ACCOMMODATION OF ALL PUBLIC UTILITIES USING OR DESIRING TO USE THE SAME. ALL AND ANY PUBLIC UTILITY SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PARTS OF ANY BUILDING, FENCES, TREES, SHRUBS OR OTHER IMPROVEMENTS OR GROWTHS WHICH IN ANY WAY ENDANGER OR INTERFERE WITH THE CONSTRUCTION, MAINTENANCE OR EFFICIENCY OF ITS RESPECTIVE SYSTEM ON THE EASEMENTS AND ALL PUBLIC UTILITIES SHALL AT ALL TIMES HAVE THE FULL RIGHT OF INGRESS AND EGRESS TO OR FROM AND UPON THE SAID EASEMENTS FOR THE PURPOSE OF CONSTRUCTING, RECONSTRUCTING, INSPECTING, PATROLLING, MAINTAINING AND ADDING TO OR REMOVING ALL OR PART OF ITS RESPECTIVE SYSTEMS, WITHOUT THE NECESSITY, AT ANY TIME, OF PROCURING THE PERMISSION OF ANYONE, AND ANY PUBLIC UTILITY SHALL HAVE THE RIGHT OF INGRESS AND EGRESS TO PRIVATE PROPERTY FOR THE PURPOSE OF READING METERS AND MAINTENANCE AND SERVICE REQUIRED OR ORDINARILY PERFORMED BY THE UTILITY.

THIS PLAT IS APPROVED SUBJECT TO ALL PLATTING ORDINANCES, RULES, REGULATIONS, AND RESOLUTIONS OF THE CITY OF SUNNYVALE, TEXAS.

WITNESS MY HAND AT DALLAS, TEXAS, THIS THE _____ DAY OF _____, 2016.

AGENT FOR BELTLINE VENTURE NO. 1

STATE OF TEXAS:

COUNTY OF DALLAS:

BEFORE ME, THE UNDERSIGNED AUTHORITY, A NOTARY PUBLIC IN AND FOR DALLAS COUNTY, TEXAS, ON THIS DAY PERSONALLY APPEARED _____ KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATIONS THEREIN. GIVEN UNDER MY HAND AND SEAL OF THIS OFFICE THE _____ DAY OF _____, 2016.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS.

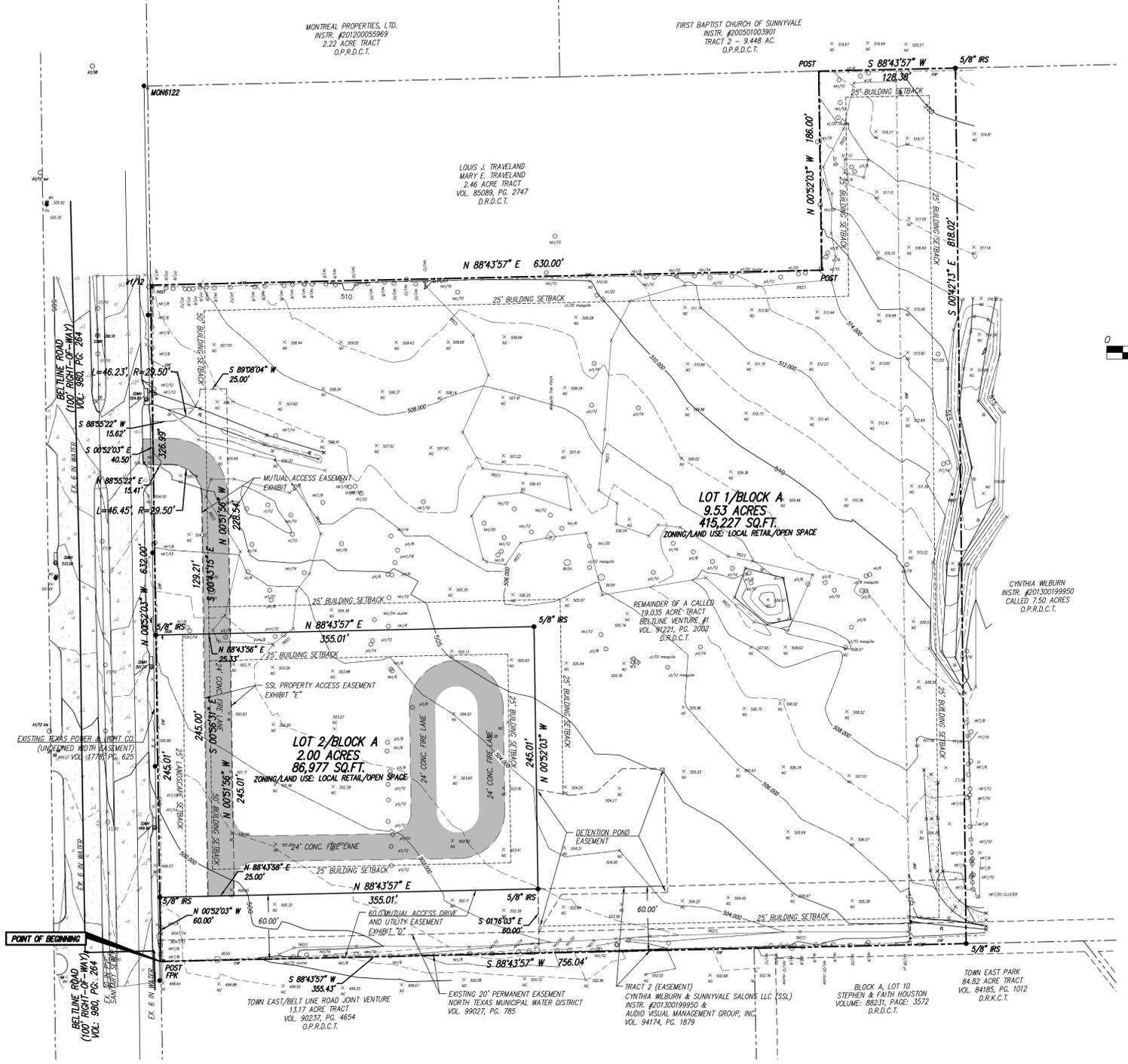
SURVEYOR'S CERTIFICATE

I, LOUIS SALCEDO, A REGISTERED PROFESSIONAL LAND SURVEYOR, LICENSED BY THE STATE OF TEXAS, AFFIRM THAT THIS PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, FROM RECORDED DOCUMENTATION, EVIDENCE COLLECTED ON THE GROUND DURING FIELD OPERATIONS AND OTHER RELIABLE DOCUMENTATION; AND THAT THIS PLAT SUBSTANTIALLY COMPLIES WITH THE RULES AND REGULATIONS OF THE TEXAS BOARD OF PROFESSIONAL LAND SURVEYING, AND TEXAS LOCAL GOVERNMENT CODE, CHAPTER 212. I FURTHER AFFIRM THAT MONUMENTATION SHOWN HEREON WAS EITHER FOUND OR PLACED IN COMPLIANCE WITH THE CITY OF SUNNYVALE DEVELOPMENT CODE; AND THAT THE DIGITAL DRAWING FILE ACCOMPANYING THIS PLAT IS A PRECISE REPRESENTATION OF THIS SIGNED FINAL PLAT.

PRELIMINARY - THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

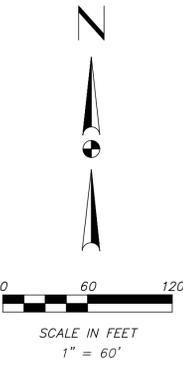
LOUIS M. SALCEDO
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 3664

DATE



Legend of Symbols & Abbreviations

× NG 415.40	NATURAL GROUND	× EOC 415.31	EDGE OF CONCRETE
× CLF 416.35	CHAIN LINK FENCE	× EOA 413.36	EDGE OF ASPHALT
× TOC 411.43	TOP OF CONCRETE	× UGC 422.19	UNDERGROUND CABLE
× WOF 411.43	WOOD FENCE	× UGS 414.27	UNDERGROUND GAS
△ CP 417.19	CONTROL POINT	× UGT 448.12	UNDERGROUND TELEPHONE
× TOE 410.04	TOE OF BANK	⊙ SS MH	SANITARY SEWER MANHOLE
× TB 409.86	TOP OF BANK	⊙ FH	FIRE HYDRANT
× FL 407.79	FLOW LINE	⊙ LID	LID
● PP	POWER POLE	⊙ WY 413.05	WATER VALVE
● LP	LIGHT POLE	× 48" R.C.P.	48" R.C.P.
● CO	CLEANOUT	⊙ Elec MH	ELECTRIC MANHOLE
⊙ WMH	WATER MANHOLE	⊙ 410.34	WALL
⊙ GUY	GUY WIRE	⊙ 13FB	TRAFFIC SIGNAL BOX
× HDG 407.79	HEDGE	⊙ WM	WATER METER
× TC 410.04	TOP OF CURB	⊙ POST	POST
× G 409.86	GUTTER	⊙ TREE	TREE
⊙ SDMH	STORM MANHOLE	⊙ EB	ELECTRIC BOX
× TOA 409.86	TOP OF ASPHALT		
● 1" IRF	1" IRON PIPE FOUND	● 1" IRF	1" IRON ROD FOUND
⊙ HKT	HACKBERRY TREE	⊙ ET	ELM TREE
⊙ CT	CEDAR TREE	⊙ HCY	HICKORY TREE
⊙ CMT	CREPE MYRTLE	⊙ OT	OAK TREE
⊙	CONCRETE	⊙	EDGE OF ASPHALT
⊙	GRAVEL	● 5/8" IRS	5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "SGI 3664", SET



Owner's Certificate
Town of Sunnyvale
State of Texas
County of Dallas

BELTLINE VENTURE NO. 1 is the Owner of an 11.53 acre tract of land situated in the HENRY J. WEBB Survey, Abstract No. 1588, and being part of a called 19.035 acre tract conveyed to BELTLINE VENTURE No. 1, by deed recorded in Vol. 91221, PG. 2002 D.R.D.C.T., and being in the Town of Sunnyvale, Dallas County, Texas, and being more particularly described as follows:

BEGINNING at the southwest corner of said 19.035 acre tract, from which a post with pk nail found, bears N 70°47'36" E a distance of 2.70 feet, and being the northwest corner of a tract of land conveyed to TOWN EAST/BELT LINE ROAD JOINT VENTURE, by deed recorded in Vol. 90237, PG. 4654 D.R.D.C.T., and being in the east line of Belt line Road (100 foot right-of-way):

THENCE along the east line of Belt line Road, same being the west line of said 19.035 acre tract, N 0°52'03" W a distance of 632.00 feet to the northwest corner of said 19.035 acre tract, from which a 1/2" iron rod found, bears S 46°00'12" W a distance of 2.32 feet, and being the southwest corner of a tract of land conveyed to Louis J. & Mary E. Traveland by deed recorded in Volume 85089, Page 2747 of the Deed Records of Dallas County, Texas;

THENCE along the north line of said 19.035 acre tract and the common south line of said Traveland tract, N 88°43'57" E a distance of 630.00 feet to an interior corner of said 19.035 acre tract, and being the southeast corner of said Traveland tract, from which a fence post bears N 52°00'38" E a distance of 1.01 feet;

THENCE along the west line of said 19.035 acre tract and the common east line of said Traveland tract, N 0°52'03" W a distance of 186.00 feet, to the northwest corner of said 19.035 acre tract, from which a fence post bears S 58°24'34" E a distance of 0.87 feet, and being the northeast corner of said Traveland tract, and being in the south line of a tract of land conveyed to First Baptist Church of Sunnyvale by deed recorded in Instrument Number 200501003901 of the Official Public Records of Dallas County, Texas;

THENCE along the north line of said 19.035 acre tract, S 88°43'57" W a distance of 128.38 feet to a 5/8" iron rod set with yellow plastic cap stamped "SGI 3664", and being the northeast corner of said 11.53 acre subject tract, and being the northwest corner of a tract of land conveyed to Cynthia Wilburn by deed recorded in Instrument Number 201300199950 of the Official Public Records of Dallas County, Texas;

THENCE along the east line of said 11.53 acre subject tract and the common west line of said Wilburn tract, S 0°42'13" W a distance of 818.02 feet to a 5/8" iron rod with plastic cap stamped "SGI 3664" set for the southeast corner of said 11.53 acre subject tract, and being the southwest corner of said Wilburn tract, and being in the north line of the Town East Park subdivision, recorded in Volume 84185, Page 1012 of the Map Records of Dallas County, Texas;

THENCE along the north line of the Town East Park subdivision and said Town East/Belt Line Road tract, same being the south line of said 19.035 acre tract, S 88°43'57" E a distance of 756.04 feet to the **POINT OF BEGINNING**, and containing 502,204 square feet or 11.53 acres of land, more or less.

PRELIMINARY PLAT
BELTLINE VENTURE ADDITION
LOTS 1 & 2, BLOCK A
502,204 SQ. FT. OR 11.53 AC.

PART OF
A CALLED 19.035 ACRE TRACT OF LAND OUT OF
HENRY J WEBB SURVEY, ABSTRACT NO. 1588
IN THE
TOWN OF SUNNYVALE, DALLAS COUNTY, TEXAS

SGI SALCEDO GROUP, INC.
400 S. ZANG BLVD., SUITE 1420
DALLAS, TX 75208
PHONE: (214)-941-8610

OWNER
BELTLINE VENTURE NO 1
C/O HOUSEMAN PROPERTIES
3838 OAK LAWN STE 1720
DALLAS, TEXAS 75219
214-336-9303

SURVEYOR
SALCEDO GROUP, INC.
400 S. ZANG BLVD., SUITE 1420
DALLAS, TEXAS 75208
(214) 941-8610

FLOOD STATEMENT: According to Community Panel No. 48113C0390K, dated July 7, 2014 of the Federal Emergency Management Agency, National Flood Insurance Program map, this property is within Flood Zone "X", which is not a special flood hazard area.

If this site is not within an identified special flood hazard area, this flood statement does not imply that the property and/or structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This statement shall not create liability on the part of the Surveyor.

STATE OF TEXAS:
COUNTY OF DALLAS:
BEFORE ME, THE UNDERSIGNED AUTHORITY, A NOTARY PUBLIC IN AND FOR DALLAS COUNTY, TEXAS, ON THIS DAY PERSONALLY APPEARED _____ KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATIONS THEREIN. GIVEN UNDER MY HAND AND SEAL OF THIS OFFICE THE _____ DAY OF _____, 2016.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS.



Town of Sunnyvale

June 20, 2016

Prepared By: **Rashad Jackson, AICP**
Director of Development Services

Summary:

APPLICANT: BILLY DUCKWORTH
AT OR ABOUT: 323 BARNES BRIDGE ROAD
REQUEST: PRELIMINARY PLAT – SNEED ADDITION, LOT 1, BLOCK A

Background:

The applicant is the representative for a residential property located at 323 Barnes Bridge Road. The applicant proposes to subdivide and create a single 5 acre lot (The Sneed Addition) out of an existing 10 acre parcel. The preliminary plat will create a 5 acre lot with a lot width of approximately 185'. As it exists now, the un-platted property is a part of a 10 acre parcel of land. The applicant proposes to subdivide the property for the development of a proposed residence. Prior to submission of this plat application, the property received a lot width variance from the Board of Adjustment. The variance, received on May 24th, allows for a lot width of 185 feet for the subject property.

The proposed preliminary plat has been submitted in accordance with the Board of Adjustment variance approval and all other Town zoning and subdivision ordinance requirements.

Public Notice

Notice was published within the Town's Official Newspaper on Wednesday, May 25th, 2016. Letters were also provided to surrounding properties meeting the distance requirements as provided within the Ordinance. Eight (8) letters were sent out. As of the writing of this staff memo, no letters had been returned either in favor or in opposition of the request.

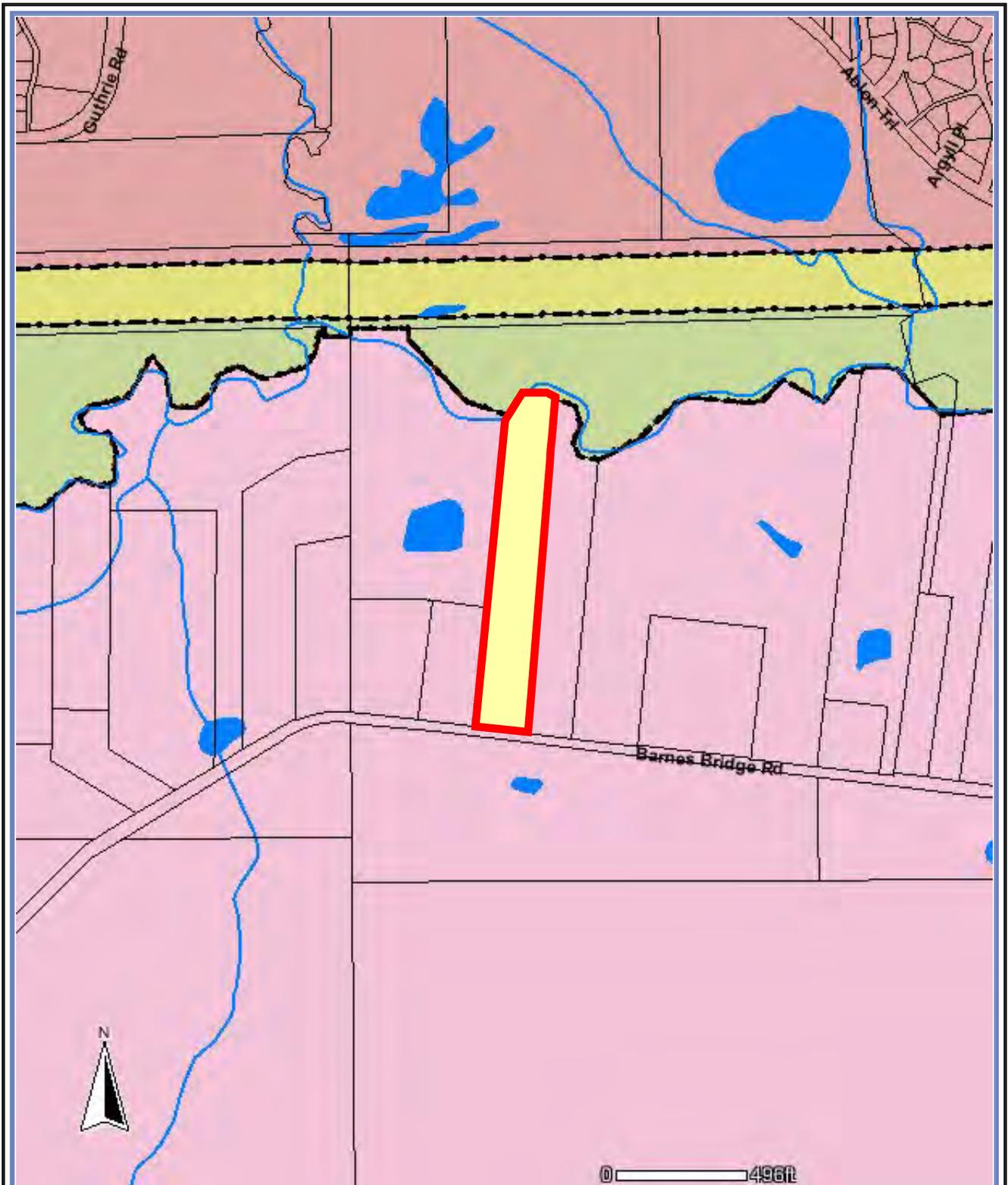
Board of Adjustment – 05/24/2016

Variance from Section 3.7 Area Standards for Detached Single Family Dwellings, Chart 3.2 Area Standards for Residential Lots to reduce the lot width requirement from 250' to 184' for two (2) proposed residential lots located at or about 323 Barnes Bridge Road.

Chairman Hoffman called for a motion. Member Turner made a motion to approve the request. Member Noster seconded. Chairperson Hoffman called for a vote, and with all members voting affirmative, the motion passed unanimously 5-0.

Attachments

- Location Map
- Chart 3.2 Area Standards for Residential Lots from the Zoning Ordinance
- Proposed preliminary plat



**Dallas Central
Appraisal District**
www.dallascad.org

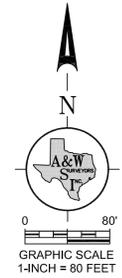
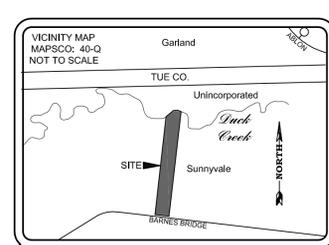
DISCLAIMER

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

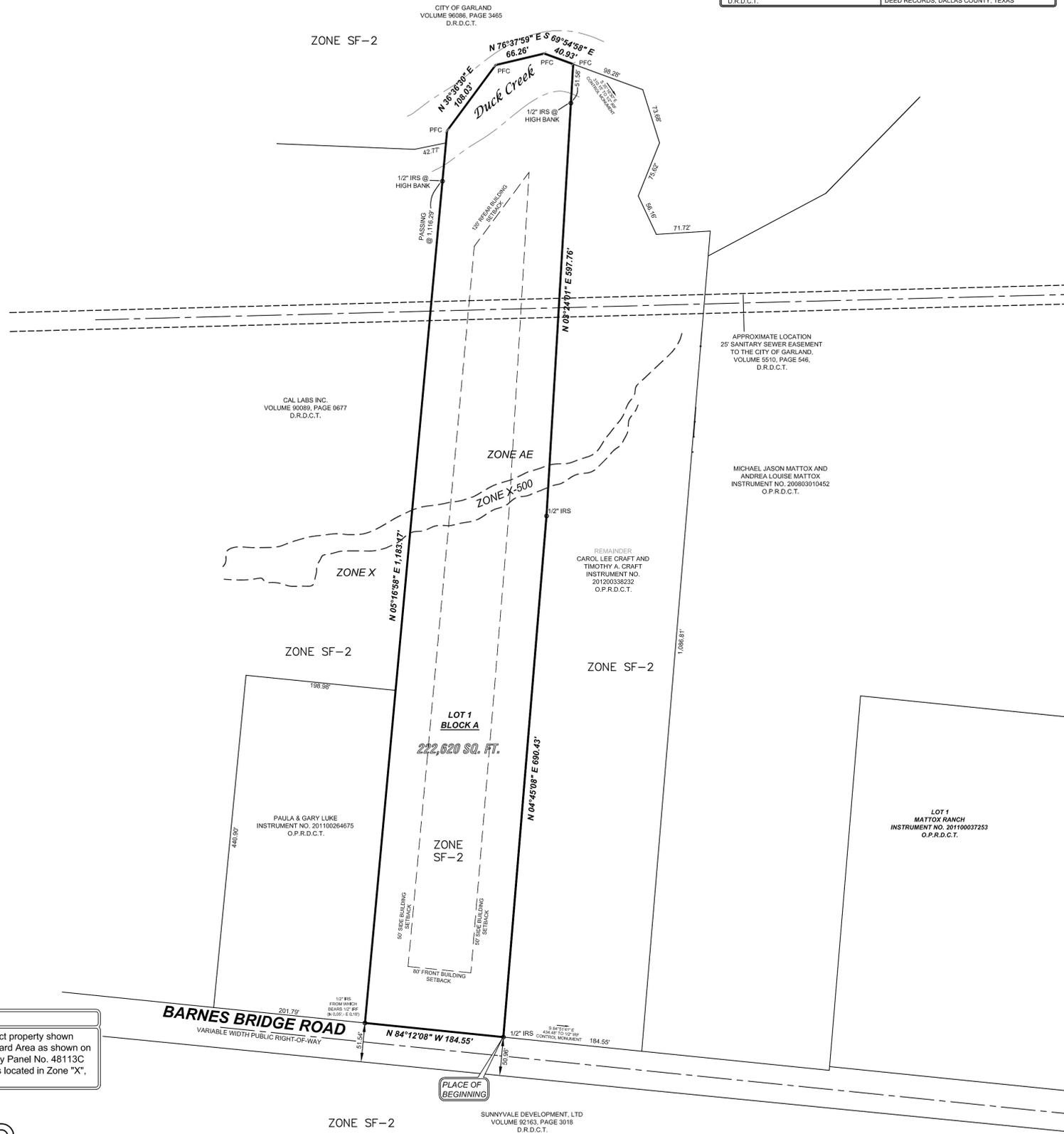
**Chart 3.2
Area Standards for Residential Lots**

Lot Size	Width ¹	Front Yard Setback	Side Yard Setback ²	Rear Yard Setback
2 acres and over	250 feet	80 Feet	50 feet	120 feet
1.5 to 1.99 acres	200 feet	80 feet	40 feet	100 feet
1 acre-1.49 acres	170 feet	70 feet	30 feet	80 feet
35,000-43,559 square feet	150 feet	60 feet	30 feet	60 feet
20,000-34,999 square feet	120 feet	60 feet	20 feet	40 feet
14,000-19,999 square feet	100 feet	50 feet	20 feet	30 feet
12,000-13,999 square feet	100 feet	40 feet	15 feet	30 feet
10,000-11,999 square feet	100 feet	30 feet	15 feet	20 feet
7,000-9,999 square feet	70 feet	25 feet	10 feet	20 feet
4,500-6,999 square feet	50 feet	25 feet	5 feet	20 feet

1. For lots on cul-de-sacs or similar circumstances, the minimum width shall apply at the front yard setback line.
2. When adjacent to a side street, the side yard setback of a corner lot shall not be less than the following, whichever is greater: (a) 150 % of the side yard setback shown; or (b) the front yard set back of any adjacent lot located within 20 feet of the rear lot line of the corner lot, where the front yard of the adjacent lot faces in the same general direction as the side yard of the corner lot.



LEGEND	
1/2" IRS	1/2" IRON ROD SET
PFC	POINT FOR CORNER
O.P.R.D.C.T.	OFFICIAL PUBLIC RECORDS, DALLAS COUNTY, TEXAS
D.R.D.C.T.	DEED RECORDS, DALLAS COUNTY, TEXAS



FLOOD

This is to certify that a portion of the subject property shown hereon lies within the 100 Year Flood Hazard Area as shown on the Flood Insurance Rate Map, Community Panel No. 48113C 0380L, dated 07-07-2014. The property is located in Zone "X", Zone "X-500", Zone "A-E".

SURVEYOR'S NOTES

- 1) BASIS OF BEARING DETERMINED BY PLAT RECORDED IN INSTRUMENT NO. 201100037253, OFFICIAL PUBLIC RECORDS, DALLAS COUNTY, TEXAS.
- 2) "NOTICE: SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF CITY SUBDIVISION ORDINANCE AND STATE PLATTING STATUTES AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING CERTIFICATES."
- 3) ALL DISTANCES ARE SURFACE DISTANCES.
- 4) THE PURPOSE OF THIS PLAT IS TO CREATE ONE BUILDABLE LOT.

5-24-2016 TOWN OF SUNNYVALE BOARD OF ADJUSTMENT GRANTS VARIANCE FOR MINIMUM FRONTAGE FROM 250' TO 184.55' FOR TWO PROPERTIES LOCATED AT 323 BARNES BRIDGE ROAD.

OWNER'S CERTIFICATE

WHEREAS Carol Lee Craft and Timothy A. Craft are the sole owners of a tract of land located in the JAMES WEST SURVEY, Abstract 1581, Town of Sunnyvale, Dallas County, Texas, and being a part of the same tract of land described in Warranty Deed to Carol Lee Craft and Timothy A. Craft, recorded in Instrument No. 201200338232, Official Public Records, Dallas County, Texas, and being more particularly described as follows:

Beginning at a 1/2" iron rod with a yellow plastic cap stamped "RPLS 5310" set for corner in the North line of Barnes Bridge Road, a variable width public right-of-way, said point being North 84°51'41" West, a distance of 434.48 feet from the Southwest corner of Lot 1 of Mattox Ranch, an addition to the Town of Sunnyvale, Dallas County, Texas, according to the plat thereof recorded in Instrument No. 201100037253, Official Public Records, Dallas County, Texas;

Thence North 84°12'08" West, along said North line, a distance of 184.55' to a 1/2" iron rod with a yellow plastic cap stamped "RPLS 5310" set at the Southeast corner of a tract of land described in deed to Paula Luke and Gary Luke, recorded in Instrument No. 201100264675, Official Public Records, Dallas County, Texas;

Thence North 05°16'58" East, along the East line of said Luke tract, passing at 1,116.29' a 1/2" iron rod with a yellow plastic cap stamped "RPLS 5310" set for reference in the high bank of Duck Creek, and continuing a total distance of 1,183.17' to a point for corner in said creek;

Thence North 36°36'30" East, along said creek, a distance of 108.03' to a point for corner;

Thence North 76°37'59" East, along said creek, a distance of 66.26' to a point for corner;

Thence South 69°54'58" East, along said creek, a distance of 40.93' to a point for corner;

Thence South 03°24'01" West, passing at a distance of 51.58' a 1/2" iron rod with a yellow plastic cap stamped "RPLS 5310" set for reference at the high bank of said creek, and continuing a total distance of 597.76' to a 1/2" iron rod with a yellow plastic cap stamped "RPLS 5310" set for corner;

Thence South 04°45'08" West, a distance of 690.43' to the PLACE OF BEGINNING and containing 222,620 square feet or 5.111 acres of land.

SURVEYOR'S CERTIFICATE

STATE OF TEXAS
COUNTY OF DALLAS

THAT I, John S. Turner, do hereby certify that I prepared this plat from an actual survey on the land and that the corner monuments shown thereon were found and/or properly placed under my personal supervision in accordance with the Platting Rules and Regulations of the Planning and Zoning Commission of the City of Sunnyvale, Texas.

Witness my hand at Mesquite, Texas,
This ____ day of _____, 20__.

PRELIMINARY, RELEASED 5-24-2016 FOR VIEWING PURPOSES ONLY.
THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE.

John S. Turner
Registered Professional Land Surveyor #5310

STATE OF TEXAS
COUNTY OF DALLAS

BEFORE ME, the undersigned, a Notary Public in and for the said County and State on this day personally appeared John S. Turner, R.P.L.S. NO. 5310, State of Texas, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

Given under my hand and seal of office,
This ____ day of _____, 20__.

Notary Public in and for the State of Texas

OWNER'S DEDICATION

STATE OF TEXAS
COUNTY OF DALLAS

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That we, Carol Lee Craft and Timothy A. Craft, do hereby adopt this plat, designating the herein above described property as **SNEED ADDITION**, an addition to the Town of Sunnyvale, Dallas County, Texas, and does hereby dedicate and convey, in fee simple, to public use forever, the streets and alleys as shown hereon. The easements shown thereon are hereby reserved for the purposes indicated. The easements and fire lanes shall be open to the public, fire and police units, garbage and rubbish collection agencies, and all public and private utilities for each particular use. The maintenance of paving on the utility easements and fire lanes is the responsibility of the property owner. No buildings, fences, trees, shrubs, or other improvements, obstructions, or growths shall be constructed, reconstructed or placed upon, over or across the easements and fire lanes as shown. Said easements being hereby reserved for the mutual use and accommodation of all public utilities using or desiring to use same. The Town of Sunnyvale shall have the right to remove and keep removed from fire lanes, all or parts of any building, fences, trees, shrubs, or other improvements, obstructions, or growths which in any way may endanger or interfere with access of fire units to fire protection facilities or equipment. All and any public utility shall have the right to remove and keep removed all or parts of any building, fences, trees, shrubs, or other improvements or growths which in any way may endanger or interfere with the construction, maintenance or efficiency of its respective system on the easements, and all public utilities shall at all times have the full right of ingress and egress to or from and upon the said easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining and adding to or removing all or parts of its respective systems without the necessity at any time of procuring the permission of anyone. (Any public utility shall have the right of ingress and egress to private property for the purpose of reading meters and any maintenance or service required or ordinarily performed by that utility). Water main and wastewater easement shall also include additional area of working space for construction and maintenance of the systems. Additional easement area is also conveyed for installation and maintenance of manholes, cleanouts, fire hydrants, water services and wastewater services from the main to the curb or pavement line, and description of such additional easements herein granted shall be determined by their location as installed.

This plat approved subject to all platting ordinances, rules, regulations, and resolutions of the Town of Sunnyvale, Texas.

WITNESS, my hand at Dallas, Texas, this the ____ day of _____, 20__.

By: _____
Carol Lee Craft

STATE OF TEXAS
COUNTY OF DALLAS

BEFORE ME, the undersigned, a Notary Public in and for the said County and State, on this day personally appeared, Carol Lee Craft, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE,
this the ____ day of _____, 20__.

Notary Public in and for The State of Texas

WITNESS, my hand at Dallas, Texas, this the ____ day of _____, 20__.

By: _____
Timothy A. Craft

STATE OF TEXAS
COUNTY OF DALLAS

BEFORE ME, the undersigned, a Notary Public in and for the said County and State, on this day personally appeared, Timothy A. Craft, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE,
this the ____ day of _____, 20__.

Notary Public in and for The State of Texas

CERTIFICATE OF APPROVAL

RECOMMENDED FOR APPROVAL BY THE PLANNING AND ZONING COMMISSION OF SUNNYVALE, TEXAS, on the ____ day of _____, 20__.

ATTEST:

Signature of City Secretary _____ Date _____

Signature of Chairman _____ Date _____

APPROVED BY THE TOWN COUNCIL OF SUNNYVALE, TEXAS, on the ____ day of _____, 20__.

Mayor _____ Date _____

A&W SURVEYORS, INC.
Professional Land Surveyors

TEXAS REGISTRATION NO. 100174-00
P.O. BOX 870029, MESQUITE, TX, 75187
PHONE: (972) 681-4975 FAX: (972) 681-4954
WWW.AWSURVEY.COM

~ PROPERTY ADDRESS: 323 Barnes Bridge Road ~
Owner: Carol Lee Craft and Timothy A. Craft
~ 323 Barnes Bridge Road, Sunnyvale, TX 75182 ~
~ 214-202-3212 ~

Job No: 16-0247 | Drawn by: 543 | Date: 05-24-2016 | Revised: 6-9-16
"A professional company operating in your best interest"

PRELIMINARY PLAT

SNEED ADDITION
LOT 1, BLOCK A

BEING 5.111 ACRES OF LAND OUT OF THE JAMES WEST SURVEY, ABSTRACT 1581 TOWN OF SUNNYVALE, DALLAS COUNTY, TEXAS

DEVELOPING ONE (1) LOT TO SF-2 STANDARDS
DATE OF PREPARATION: 5-24-2016



Town of Sunnyvale

June 20, 2016

Prepared By: **Rashad Jackson, AICP**
Director of Development Services

Summary:

APPLICANT: DALE HOELTING – DEH CONSULTING, LTD.
AT OR ABOUT: 182 S. COLLINS ROAD APPROX 4.11 ACRES
**REQUEST: REPLAT – SUNNYVALE COLLINS RETAIL, LOTS 1R,
2R & 3R, BLOCK A**

Background:

The subject property is located within the Collins Corner (Sunnyvale Collins Retail) development. The zoning district designation for the property is General Business. The applicant has submitted a replat for the subject property with the intentions to create three lots. The property was originally platted as one single lot. The applicant plans to subdivide the property so that individual lots may be sold. The subject property is already developed as a shopping center consisting of two existing buildings and two concrete foundations. The site plan for the property shall remain as approved unless a new site plan proposal is submitted at a later date.

Access will be provided to all lots via a mutual access easement shown on the plat. The easement will serve as a 24' fire lane, access and utility easement. Staff requests a cross access/mutual access agreement be drafted and recorded as a separate instrument to allow for continued development and access to the northern and southern abutting properties. As a shopping center area, continued access should be allowed to foster development of the shopping district. The northern entrance will likely be used by multiple properties in the future. A mutual/cross access agreement will guarantee access and foster the development of the abutting properties.

Staff has not found any other revisions related to this request. Town engineering staff has reviewed the proposed change and has no comments.

Public Notice

Public notice was provided to the Town's Official Newspaper for publication on May 25th, 2016. Letters were also sent to property owners' within 400' on June 8th, 2016. The total number of letters sent was thirty-two (32). As of the release of the staff memo, one (1) response had been received in favor.

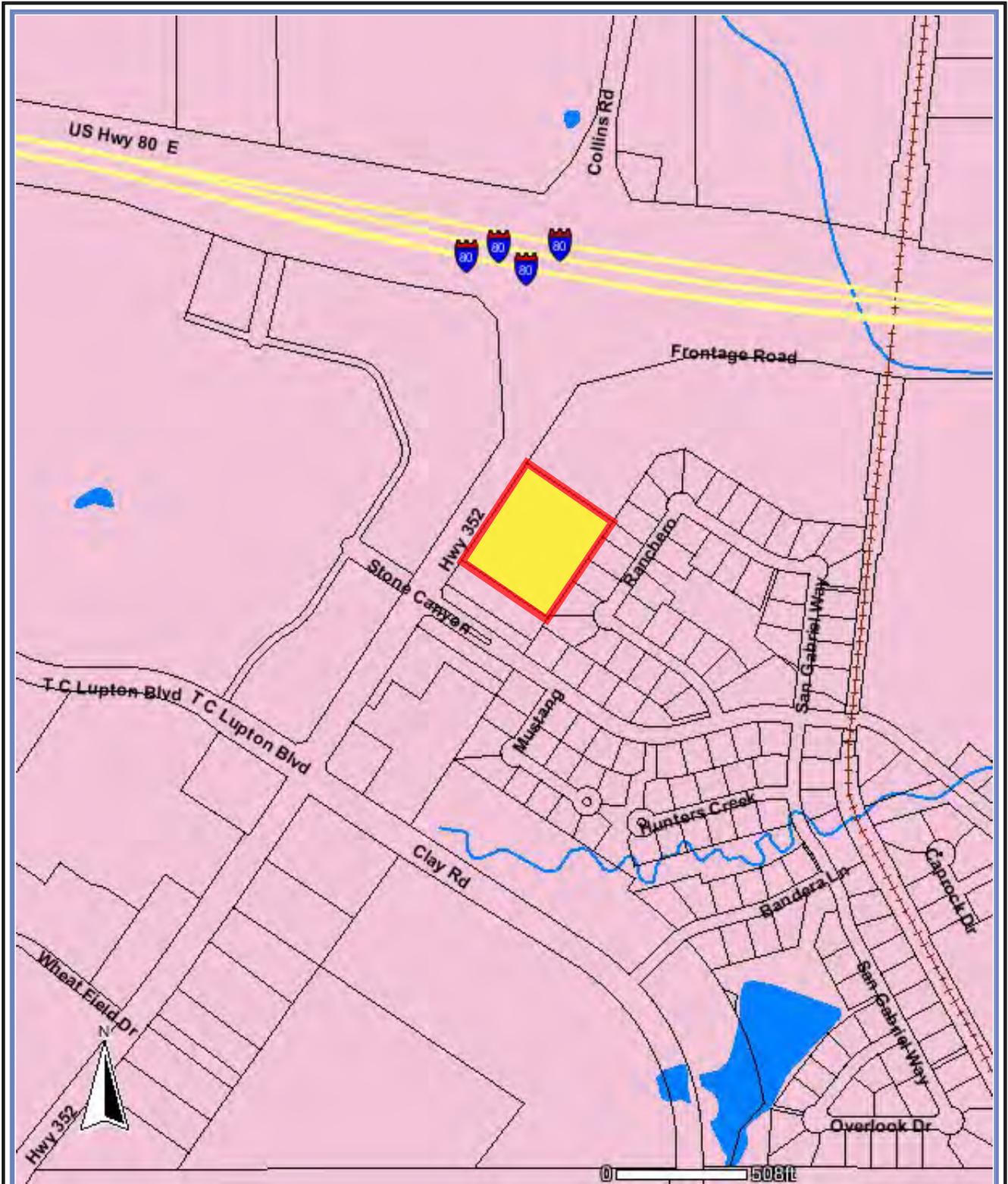
Staff Recommendation

Staff recommends approval contingent to the following conditions below. The request does not appear to have any detrimental effects to the development. Town staff has found that the request meets the requirements of the Subdivision Ordinance as well as the regulations.

1. Staff requests a cross access/mutual access agreement be drafted and recorded as a separate instrument to allow for continued development and access to the northern and southern abutting properties.
2. For the subject property, staff has requested a shared parking agreement be drafted to assure mutual parking access amongst the properties. Parking between the lots should not be an issue but to assure no future problems an agreement should be drafted.

Attachments

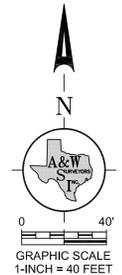
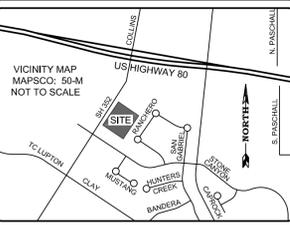
- Location Map
- Proposed Replat
- 400' Response Letter



Dallas Central
Appraisal District
www.dallascad.org

DISCLAIMER

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.



EASEMENT CURVE TABLE					
CURVE	DELTA	RADIUS	LENGTH	CH. BEAR.	CHORD
C1	90°00'00"	30.00'	47.12'	N78°50'00"E	42.43'
C2	85°35'19"	30.00'	44.81'	N08°57'40"W	40.76'
C3	4°24'41"	30.00'	2.31'	N53°57'40"W	2.31'
C4	30°07'58"	20.00'	10.52'	N11°33'59"W	10.40'
C5	30°07'58"	54.00'	28.40'	S71°46'02"E	28.07'
C6	90°00'00"	25.00'	39.27'	N76°50'00"E	35.36'
C7	90°00'00"	30.00'	47.12'	S11°10'00"E	42.43'
C8	4°24'41"	54.00'	4.16'	N53°57'39"W	4.16'
C9	94°24'41"	30.00'	49.43'	S81°02'20"W	44.03'
C10	90°00'00"	15.00'	23.56'	S11°10'00"E	21.21'
C11	24°54'16"	30.00'	13.04'	N64°12'27"W	12.94'
C12	48°03'13"	30.00'	24.11'	S80°19'05"W	23.47'
C13	54°18'53"	30.00'	28.44'	S83°19'26"E	27.39'

EASEMENT LINE TABLE		
LINE	LENGTH	BEARING
L1	15.51'	N51°45'19"W
L2	48.04'	N56°10'00"W
L3	56.88'	N56°10'00"W
L4	25.00'	N66°10'00"W
L5	0.77'	S33°50'00"W
L6	5.77'	S33°50'00"W
L7	36.04'	S56°10'00"E
L8	24.00'	S38°14'41"W
L9	12.00'	S33°50'00"W
L10	8.50'	S33°50'00"W
L11	15.00'	S56°10'00"E
L12	8.50'	N33°50'00"E
L13	9.09'	S33°50'00"W
L14	15.00'	S56°10'00"E
L15	7.59'	N33°50'00"E
L16	39.81'	S33°50'00"W
L17	40.97'	S33°50'00"W
L18	16.16'	S33°50'00"W
L19	17.02'	N56°10'00"W
L20	7.72'	S56°10'00"E
L21	15.00'	N33°50'00"E
L22	7.72'	S56°10'00"E
L23	8.50'	S56°10'00"E
L24	15.00'	N33°50'00"E
L25	8.50'	S56°10'00"E
L26	7.72'	S56°10'00"E
L27	15.00'	N33°50'00"E
L28	7.72'	S56°10'00"E

OWNER'S CERTIFICATE

WHEREAS Real Estate Holdings, LLC, an Oklahoma series limited liability company is the sole owner of a tract of land located in the J.P. LAWRENCE SURVEY, Abstract No. 807, Sunnyvale, Dallas County, Texas, and being Lot 1, Block A, of SUNNYVALE COLLINS RETAIL ADDITION, an Addition to the City of Sunnyvale, Dallas County, Texas, according to the plat thereof recorded in Instrument No. 20090105546, Deed Records, Dallas County, Texas, and being a part of the tract of land described in deed to Real Estate Holdings, LLC, recorded in Instrument No. 201500085672, Official Public Records, Dallas County, Texas, and being more particularly described as follows:

Beginning at a cross-cut found for corner in the Southeast line of Collins Road (S.H. 352), a 100' wide public right-of-way, at the North corner of a tract of land described in deed to Stone Canyon Investments, LP, recorded in Instrument No. 200600230696, Official Public Records, Dallas County, Texas;

Thence North 33°50'00" East, along said Southeast line, a distance of 447.77' to a 1/2" iron rod found at the West corner of as tract of land described in deed to Sunnyvale 4B Development Corp., recorded in Instrument No. 201600022276, Official Public Records, Dallas County, Texas;

Thence South 56°10'00" East, a distance of 400.00' to a 1/2" iron rod found for corner in the Northwest line of Stone Canyon, Phase 3, an addition to the City of Sunnyvale, Dallas County, Texas, according to the plat thereof recorded in Volume 2004238, Page 5, Deed Records, Dallas County, Texas;

Thence South 33°50'00" West, along said Northwest line, a distance of 447.77' to a 1/2" iron rod with a yellow plastic cap stamped "RPLS 5310" set at the East corner of said Stone Canyon Investments tract;

Thence North 56°10'00" West, a distance of 400.00' to the PLACE OF BEGINNING and containing 179,108 square feet or 4.112 acres of land.

SURVEYOR'S CERTIFICATE

STATE OF TEXAS
COUNTY OF DALLAS

THAT I, John S. Turner, do hereby certify that I prepared this plat from an actual survey on the land and that the corner monuments shown thereon were found and/or properly placed under my personal supervision in accordance with the Platting Rules and Regulations of the Planning and Zoning Commission of the City of Sunnyvale, Texas.

Witness my hand at Mesquite, Texas,
This ____ day of _____, 20__.

John S. Turner
Registered Professional Land Surveyor #5310

STATE OF TEXAS
COUNTY OF DALLAS

BEFORE ME, the undersigned, a Notary Public in and for the said County and State on this day personally appeared John S. Turner, R.P.L.S. NO. 5310, State of Texas, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

Given under my hand and seal of office,
This ____ day of _____, 20__.

Notary Public in and for the State of Texas

OWNER'S DEDICATION

STATE OF TEXAS
COUNTY OF DALLAS

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That we, Real Estate Holdings, LLC, acting by and through its authorized agent _____, does hereby adopt this plat, designating the herein above described property as **REPLAT, SUNNYVALE COLLINS RETAIL**, an addition to the Town of Sunnyvale, Dallas County, Texas, and does hereby dedicate and convey, in fee simple, to public use forever, the streets and alleys as shown hereon. The easements shown thereon are hereby reserved for the purposes indicated. The easements and fire lanes shall be open to the public, fire and police units, garbage and rubbish collection agencies, and all public and private utilities for each particular use. The maintenance of paving on the utility easements and fire lanes is the responsibility of the property owner. No buildings, fences, trees, shrubs, or other improvements, obstructions, or growths shall be constructed, reconstructed or placed upon, over or across the easements and fire lanes as shown. Said easements being hereby reserved for the mutual use and accommodation of all public utilities using or desiring to use same. The Town of Sunnyvale shall have the right to remove and keep removed from fire lanes, all or parts of any building, fences, trees, shrubs, or other improvements, obstructions, or growths which in any way may endanger or interfere with access of fire units to fire protection facilities or equipment. All and any public utility shall have the right to remove and keep removed all or parts of any building, fences, trees, shrubs, or other improvements or growths which in any way may endanger or interfere with the construction, maintenance or efficiency of its respective system on the easements, and all public utilities shall at all times have the full right of ingress and egress to or from and upon the said easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining and adding to or removing all or parts of its respective systems without the necessity at any time of procuring the permission of anyone. (Any public utility shall have the right of ingress and egress to private property for the purpose of reading meters and any maintenance or service required or ordinarily performed by that utility). Water main and wastewater easement shall also include additional area of working space for construction and maintenance of the systems. Additional easement area is also conveyed for installation and maintenance of manholes, cleanouts, fire hydrants, water services and wastewater services from the main to the curb or pavement line, and description of such additional easements herein granted shall be determined by their location as installed.

This plat approved subject to all platting ordinances, rules, regulations, and resolutions of the Town of Sunnyvale, Texas.

WITNESS, my hand at Dallas, Texas, this the ____ day of _____, 20__.

By: _____
Authorized Agent

STATE OF TEXAS
COUNTY OF DALLAS

BEFORE ME, the undersigned, a Notary Public in and for the said County and State, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE,
this the ____ day of _____, 20__.

Notary Public in and for The State of Texas

CERTIFICATE OF APPROVAL

RECOMMENDED FOR APPROVAL BY THE PLANNING AND ZONING COMMISSION OF SUNNYVALE, TEXAS, on the ____ day of _____, 20__.

ATTEST:
Signature of City Secretary _____ Date _____
Signature of Chairman _____ Date _____

APPROVED BY THE TOWN COUNCIL OF SUNNYVALE, TEXAS, on the ____ day of _____, 20__.

Mayor _____ Date _____

SURVEYOR'S NOTES

- 1) BASIS OF BEARING DETERMINED BY PLAT RECORDED IN INSTRUMENT NO. 20080105546, OFFICIAL PUBLIC RECORDS, DALLAS COUNTY, TEXAS.
- 2) "NOTICE: SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF CITY SUBDIVISION ORDINANCE AND STATE PLATTING STATUTES AND IS SUBJECT TO FINES AND WITHOLDING OF UTILITIES AND BUILDING CERTIFICATES."
- 3) ALL DISTANCES ARE SURFACES DISTANCES.
- 4) THE PURPOSE OF THIS REPLAT IS TO SUBDIVIDE (1) LOT INTO THREE (3).

STONE CANYON PHASE 1
VOLUME 2001154, PAGE 34
D.R.D.C.T.

A&W SURVEYORS, INC.
Professional Land Surveyors
TEXAS REGISTRATION NO. 100174-00
P.O. BOX 870029, MESQUITE, TX, 75187
PHONE: (972) 681-4975 FAX: (972) 681-4954
WWW.AWSURVEY.COM

~ PROPERTY ADDRESS: 184 S. Collins Road ~
Owner: Real Estate Holdings, LLC
~ 5307 E. Mockingbird Lane, Ste. 350, Dallas, TX 75206 ~
~ 214-584-2416 ~

Job No. 16-0661 | Drawn by: 543 | Date: 05-19-16 | Revised:
"A professional company operating in your best interest"

REPLAT
SUNNYVALE COLLINS RETAIL
LOTS 1R, 2R & 3R, BLOCK A

BEING A REPLAT OF SUNNYVALE COLLINS RETAIL ADDITION LOT 1, BLOCK A
RECORDED IN INSTRUMENT NO. 20080105546
OFFICIAL PUBLIC RECORDS, DALLAS COUNTY, TEXAS
AN ADDITION TO THE CITY OF SUNNYVALE,
DALLAS COUNTY, TEXAS
179,108 SQUARE FEET OR 4.112 ACRES OF LAND
J.P. LAWRENCE SURVEY, ABSTRACT 807
CITY PLAN FILE NO. _____



**Notice of Application for replat
Town of Sunnyvale
Planning & Zoning Commission**

The Town of Sunnyvale has received a request from Dale Hoelting for a replat approval of the Sunnyvale Collins Retail Addition. The location of the property, 128 S. Collins Road., is shown on the attached exhibit. The proposed request will subdivide the property into 3 lots.

The Planning and Zoning Commission will hear this application on Monday, June 20, 2016 and the Town Council will consider the application on either Monday, June 27, 2016 or Monday, July 11, 2016. The hearings will be conducted in open session at Town Hall, 127 Collins Road at 7:00 P.M. If you have comments on this application, you may present them in person at these meetings or may submit written comments at any time on or before date of the hearings.

The replat application and supporting documents are on file at Town Hall and may be examined at no charge. For further information contact Rashad Jackson, Director of Development Services at (972) 203-4103 or rashad.jackson@townofsunnyvale.org.

- I am in favor of the replat
 I am opposed to the replat

Explanation:

Signature:

Printed Name:

Address:

Date:

[Handwritten Signature]
RKB Sunnyvale II, Inc
By: Rick Sheldon, 601 Soonterra Blvd,
6/13/16 SAN Antonio TX 78216