

**AGENDA  
TOWN OF SUNNYVALE  
PLANNING AND ZONING COMMISSION  
MONDAY, SEPTEMBER 19, 2016  
TOWN HALL - COUNCIL CHAMBERS  
127 N. COLLINS RD.  
7:00 P.M.**

**CALL MEETING TO ORDER**

Planning and Zoning Commission Chairperson calls the Meeting to order, state the date and time. State Commissioners present and declare a quorum present.

**1. APPROVAL OF MINUTES FOR 8/15/2016 REGULAR MEETING**

**PUBLIC HEARING**

Open or continue public hearing, consider testimony and other information provided, close public hearing, and take necessary action with respect to the following:

- 2. APPLICANT: BILL FOOSE  
AT OR ABOUT: 2718 BELT LINE ROAD APPROX. 11.53 ACRES  
REQUEST: FINAL PLAT – BELT LINE VENTURE ADDITION,  
LOTS 1 & 2, BLOCK A**
- 3. APPLICANT: JAMES SNEED  
AT OR ABOUT: 321 BARNES BRIDGE ROAD  
REQUEST: FINAL PLAT – SNEED ADDITION, LOT 1,  
BLOCK A**
- 4. APPLICANT: COLIN HELFFRICH, P.E.  
AT OR ABOUT: APPROX. 30 ACRES SOUTH OF MIDSTREAM  
DRIVE AND WEST OF BENWICK DRIVE  
REQUEST: FINAL PLAT – STONEY CREEK PHASE 2G**
- 5. APPLICANT: ANGELA NAVARRO  
AT OR ABOUT: 400 S. PASCHALL ROAD  
REQUEST: CONDITIONAL USE PERMIT FOR A COMMERCIAL  
AMUSEMENT USE AND SITE PLAN**
- 6. APPLICANT: JAMES W. BURNETT – DYNAMIC ENGINEERING  
AT OR ABOUT: 222 COLLINS ROAD – SOUTH OF NANCE ROAD  
AND EAST OF COLLINS ROAD  
REQUEST: SITE PLAN – SUNNYVALE AG BARN (S.I.S.D.)**

## **ADJOURN**

ALL LOCATIONS IDENTIFIED ARE IN THE TOWN OF SUNNYVALE UNLESS OTHERWISE INDICATED. FOR A DETAILED PROPERTY DESCRIPTION, PLEASE CONTACT THE BUILDING OFFICIAL AT TOWN HALL. ALL ITEMS ON THE AGENDA ARE FOR POSSIBLE DISCUSSION AND ACTION. PLEASE TURN OFF ALL TELEPHONES AND HANDHELD COMMUNICATION DEVICES WHILE IN ATTENDANCE AT THIS MEETING. MEMBERS OF THE PUBLIC ARE REQUESTED TO LIMIT THEIR COMMENTS, WHETHER AT THE PUBLIC FORUM OR DURING A PUBLIC HEARING, TO NO MORE THAN FIVE (5) MINUTES.

THE SUNNYVALE PLANNING AND ZONING COMMISSION RESERVES THE RIGHT TO ADJOURN INTO EXECUTIVE SESSION AT ANY TIME DURING THE COURSE OF THIS MEETING TO DISCUSS ANY OF THE MATTERS LISTED ABOVE, AS AUTHORIZED BY TEXAS GOVERNMENT CODE SECTION 551.071 (CONSULTATION WITH ATTORNEY), 551.072 (DELIBERATION ABOUT REAL PROPERTY), 551.073 (DELIBERATIONS ABOUT GIFTS AND DONATIONS), 551.074 (PERSONNEL MATTERS), 551.076 (DELIBERATIONS ABOUT SECURITY DEVICES), AND 551.086 (ECONOMIC DEVELOPMENT).

THE TOWN OF SUNNYVALE IS COMMITTED TO COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA). REASONABLE ACCOMMODATIONS AND EQUAL ACCESS TO COMMUNICATIONS WILL BE PROVIDED TO THOSE WHO PROVIDE NOTICE TO THE DIRECTOR OF COMMUNITY SERVICES AT 972-226-7177 AT LEAST 48 HOURS PRIOR TO THE MEETING.

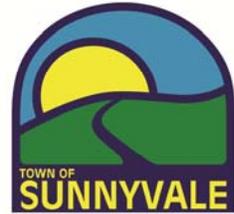
THE FOREGOING NOTICE WAS POSTED IN THE FOLLOWING LOCATIONS:  
SUNNYVALE ISD 417 E. TRIPP ROAD  
SUNNYVALE LIBRARY AT 402 TOWER PLACE

**I HEREBY CERTIFY THAT THE FOREGOING NOTICE WAS POSTED ON SEPTEMBER 16, 2016 IN THE FOLLOWING LOCATIONS AND REMAINED SO POSTED CONTINUOUSLY FOR AT LEAST 72 HOURS PRECEDING THE SCHEDULED TIME OF SAID MEETING:**

**TOWN HALL AT 127 N. COLLINS ROAD**

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**LESLIE BLACK, TOWN SECRETARY**



**MINUTES  
TOWN OF SUNNYVALE  
PLANNING AND ZONING COMMISSION  
MONDAY, AUGUST 15, 2016  
TOWN HALL - COUNCIL CHAMBERS  
127 N. COLLINS RD.  
7:00 P.M.**

<b>CHAIRPERSON</b>	<b>KEN DEMKO - ABSENT</b>
<b>CO-CHAIRPERSON</b>	<b>ANTHONY OKAFOR</b>
<b>COMMISSIONER</b>	<b>JOHN PEASE</b>
<b>COMMISSIONER</b>	<b>SHINEY DANIEL - ABSENT</b>
<b>COMMISSIONER</b>	<b>JOSH SANDLER - ABSENT</b>
<b>COMMISSIONER</b>	<b>RAY VANEK – VACANT POSITION</b>
<b>COMMISSIONER</b>	<b>KING MOSS</b>
<b>ALTERNATE COMMISSIONER</b>	<b>SARAH MITCHELL</b>
<b>ALTERNATE COMMISSIONER</b>	<b>DON KLINE</b>

**CALL MEETING TO ORDER**

Meeting called to order at 7:02 p.m.

**1. APPROVAL OF MINUTES FOR 7/18/2016 REGULAR MEETING**

Commissioner Moss made a motion, seconded by Commissioner Pease, to approve the Regular Meeting Minutes. Co-Chairman Okafor called for a vote, and with all members voting affirmative, the motion passed unanimously.

**PUBLIC HEARING**

Open or continue public hearing, consider testimony and other information provided, close public hearing, and take necessary action with respect to the following:

- 2. APPLICANT: JOHN ARNOLD - SKORBURG DEVELOPMENT**  
**AT OR ABOUT: NE QUADRANT OF THE INTERSECTION OF TRIPP RD AND JOBSON RD (83.06 ACRES)**  
**REQUEST: TO CHANGE THE TOWN'S COMPREHENSIVE PLAN AND LAND USE DIAGRAM FROM ESTATE RESIDENTIAL (ER) TO LOW DENSITY RESIDENTIAL (LDR) AND THE ZONING MAP FROM SINGLE FAMILY 3 (SF-3) & SINGLE FAMILY 2 (SF-2) TO SINGLE FAMILY 3 – PLANNED RESIDENTIAL OVERLAY (SF-3-PRO)**

Director Jackson presented the request.

*This item was heard by the Planning and Zoning Commission on June 20, 2016. At the meeting, the Planning and Zoning Commission recommended denial of the proposed zone change. The applicant, Skorborg Development, asked to be remanded back to the Commission for reconsideration. Per parliamentary procedures, if one of the*

*majority dissenting votes are willing to make a motion to reconsider the request and it was approved by vote, Skorburg's application could be brought back before P&Z and would not have to meet the materially different standard outlined in Section 21.7 of the zoning ordinance. This information was shared with the Chairman of the Planning and Zoning Commission and Staff was directed to put it on an agenda for reconsideration. P&Z met on July 18, 2016 and a motion to reconsider was made and approved by a vote of 5 to 2. Subsequently, the applicant has returned with a revised plan for review.*

John Arnold, from Skorburg Development, spoke on behalf of the request. He presented a PowerPoint to the Commission and explained the details of the request.

Public hearing - open

No comments

Public hearing – closed

Commissioner Okafor asked if the commission had any questions or comments.

Commissioner Moss noted that the applicant had presented the application many times. He noted that many of the issues that were previously mentioned by the Commission were addressed.

Commissioner Pease asked about the requested development standard variations with regard to lot size and setbacks.

John Arnold explained in detail each proposed development variation.

Discussion was had amongst the commission in regards to the proposed variations and the FEMA process for flood plain reclamation.

Commissioner Moss made a motion to approve, seconded by Commissioner Mitchell. Co-Chairman Okafor called for a vote, the motion passed 4 - 1.

- 3. APPLICANT: BILL DOUGLASS**  
**AT OR ABOUT: 224 S. COLLINS ROAD – TOWER CONVENIENCE STORE**  
**REQUEST: CONDITIONAL USE PERMIT FOR TRUCK LEASING – EXCLUDING SEMI - TRUCK AND HEAVY LOAD**

Director Jackson presented the request.

*The applicant has submitted a revised application requesting a conditional use permit to allow for the establishment of U-haul truck leasing center within the Towers Convenience Store (Valero) located at 224 S Collins Rd. At a previous Commission meeting held on June 20, 2016, the applicant was instructed to return with a*

*dimensioned site plan of the proposed truck parking area. A revised site plan is attached for review. The dimensioned site plan shows adequate space to meet the following standards.*

- *Each parallel parking space shall be a minimum of nine (9) feet in width and 20 feet in length.*
- *The minimum aisle width shall be 20 feet wide.*

*Staff has made the applicant aware that the proposed area will be required to be restriped in accordance with parking regulations if approved.*

Bill Douglass spoke on behalf of the request. He noted that the request was to allow for the licensing of a U-Haul agency for the Towers Convenience Store. He noted the store would not be a direct U-Haul dealership. He explained details of the request.

Commissioner Mitchell asked how many trucks are proposed.

Mr. Douglass stated a max of 3 trucks was proposed.

Commissioner asked if it would be a drop off location.

Mr. Douglass stated that it would be a drop off location but typically the drop offs would be during business hours.

Thomas Melinda, a U-Haul representative, explained the drop off process.

Commissioner Pease asked about signage.

Mr. Douglass stated they would only request a small U-Haul sign for the side of the building. He noted the trucks themselves would serve as signage as well.

Public hearing – open

No comments

Public hearing – closed

Discussion was had amongst the Commission and applicant with regard to the parking requirements and existing conditions of the site.

Commissioner Mitchell made a motion to approve, seconded by Commissioner Pease. Co-Chairman Okafor called for a vote, the motion passed 4 - 1.

4. **APPLICANT:** TOWN OF SUNNYVALE  
**REQUEST:** AN ORDINANCE AMENDING ZONING ORDINANCE NO. 324 DULY PASSED BY THE TOWN COUNCIL ON JANUARY 31, 2000; AS AMENDED BY ORDINANCE NO. 525 AND AS AMENDED FROM TIME TO TIME; SO AS TO CHANGE BY ADOPTION OF AMENDMENTS TO THE TEXT OF THE TOWN'S ZONING ORDINANCE INCLUDING WITHOUT LIMITATION, CHANGES TO CHAPTER 17A, MASTER PLANNED DEVELOPMENT DISTRICT (MPD), ESTABLISHING A NEW MINIMUM DISTRICT SIZE, PROVIDING A SEVERABILITY CLAUSE; PROVIDING A CONFLICTS CLAUSE AND PROVIDING AN EFFECTIVE DATE.

Director Jackson presented the request.

*Direction was provided to Town Staff to propose an amendment to the zoning ordinance to lower the minimum required acreage for Master Planned Development Districts (MPD). Town Staff has prepared such an amendment for review and consideration by the Planning & Zoning Commission and Town Council. The proposed text change, although minor, will expand the opportunities for high quality development throughout the Town. The current minimum acreage requirement limits opportunities for some retail development in certain areas in Town. Many of the remaining retail parcels along our primary corridors do not meet the minimum acreage requirement for a MPD. As it exists, possible development on parcels less than 15 acres is restrained to the minimum development standards of the base zoning districts (i.e. Local Retail District, General Business District).*

Commissioner Pease asked how many parcels would be affected by this amendment

Director Jackson stated that many of the parcels along Belt Line & Town East, Collins & Hwy 80 and Belt Line & Tripp would be prime examples of areas that could be affected.

Public hearing – open

No comments

Public hearing - closed

Commissioner Moss made a motion to approve the amendment as submitted, seconded by Commissioner Kline. Co-Chairman Okafor called for a vote, the motion passed 5 - 0.

#### **ADJOURN**

Meeting adjourned at 8:01 p.m.

The undersigned presiding officer certifies that this is a true and correct record of the proceedings.

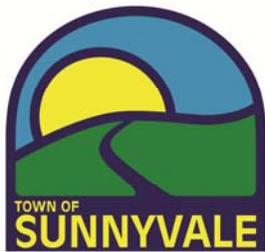
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Ken Demko, Chairman

ATTEST:

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Leslie Black, Town Secretary



# Town of Sunnyvale

September 19, 2016

Prepared By: **Rashad Jackson, AICP**  
Director of Development Services

## **Summary:**

<b>APPLICANT:</b>	<b>BILL FOOSE</b>
<b>AT OR ABOUT:</b>	<b>2718 BELT LINE ROAD APPROX. 11.53 ACRES</b>
<b>REQUEST:</b>	<b>FINAL PLAT – BELT LINE VENTURE ADDITION, LOTS 1 &amp; 2, BLOCK A</b>

## **Background:**

The subject property is located at or about 2718 Belt Line Road. The applicant requests approval for a proposed final plat for 2 new lots. Lot 2 will be used for the future development of a Salons Elite establishment. The individual building site is approximately 2 acres. The subject property, located within a Local Retail zoning district is 11.53 acres in size. The proposed use is allowed by right within the Local Retail District.

The plat contains 3 easements that will be recorded by separate instrument.

- A 60' mutual access easement on the south property line
- A 24' fire lane/mutual access easement throughout the interior portions of the property
- An off-site detention pond as required by Town development standards

All other details of the proposed plat meet the requirements of the Sunnyvale zoning ordinance and subdivision ordinance.

## **Public Notice**

Notice was published within the Town's Official Newspaper on August 31<sup>st</sup>, 2016. Letters were also provided to surrounding properties meeting the distance requirements as provided within the Ordinance. Nineteen (19) letters were sent. As of the writing of this staff memo, no letters had been returned either in favor or in opposition of the request.

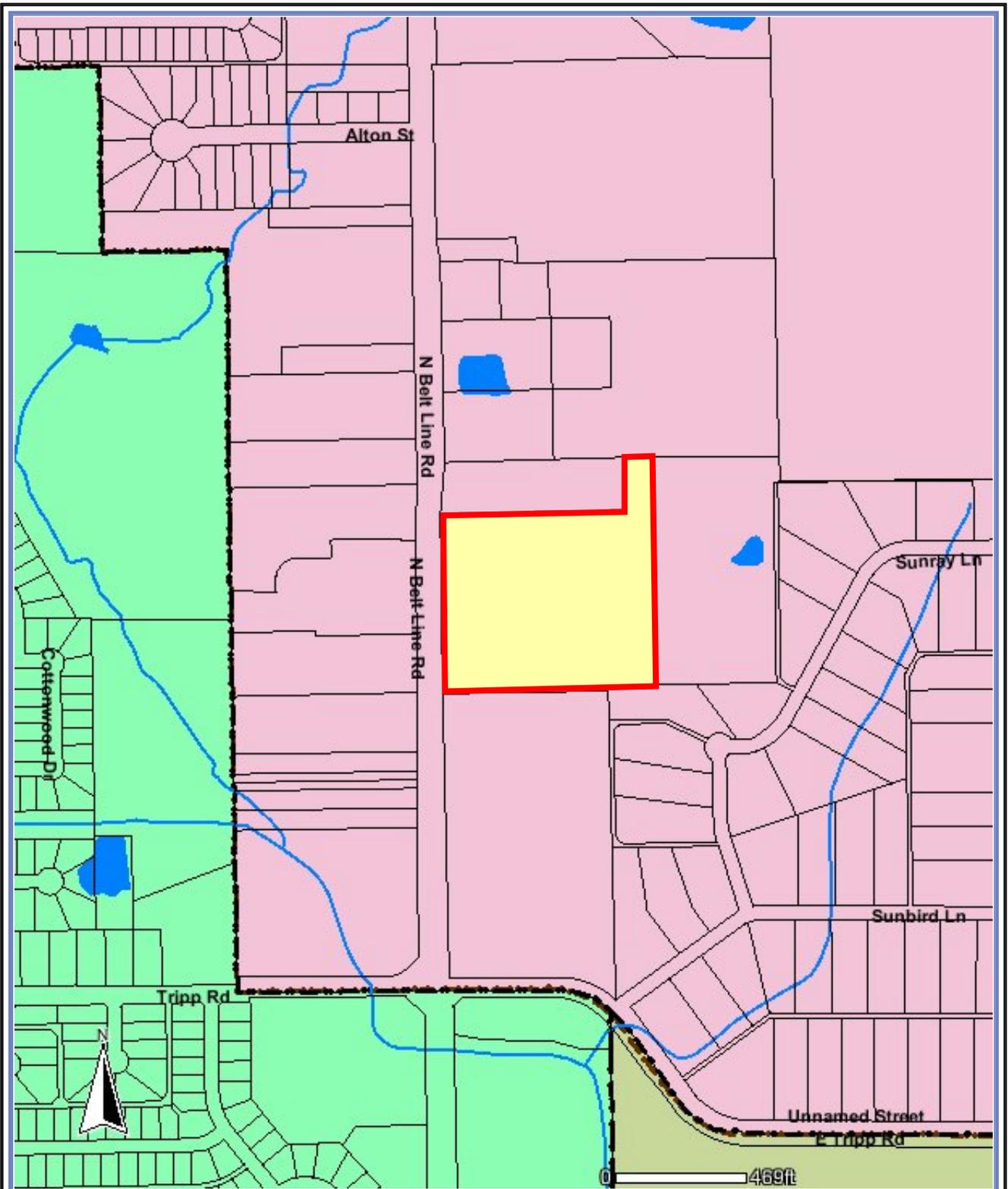
## **Staff Recommendation**

Town staff has the following comments/recommendation for consideration:

1. Town staff recommends approval contingent to all Town comments being satisfactorily addressed prior to construction.

## **Attachments**

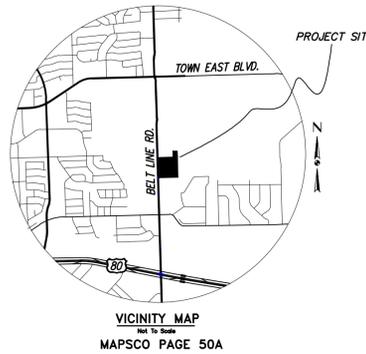
- Location Map
- Proposed Final Plat



**Dallas Central  
Appraisal District**  
[www.dallascad.org](http://www.dallascad.org)

**DISCLAIMER**

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.



**GENERAL NOTES:**

1. BASIS OF BEARING: NAD 1983 STATE PLANE COORDINATES, TEXAS NORTH CENTRAL (4202). GEODETIC BEARING ESTABLISHED BY GPS MEASUREMENTS TAKEN ON 9/10/15. SOLUTIONS HAVE BEEN CALCULATED BY THE NATIONAL GEODETIC SURVEY, OPUS WEBSITE.
2. NOTICE: SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF TOWN SUBDIVISION ORDINANCE AND STATE PLATTING STATUTES AND IS SUBJECT TO FINES AND WITHDRAWING UTILITIES AND BUILDING CERTIFICATES.
3. NO LOT TO LOT DRAINAGE WITHOUT ENGINEERING APPROVAL.
4. BENCHMARKS:
  - 4.1. STORM DRAIN CURB INLET LID, APPROXIMATELY 105' SOUTH OF THE NORTHWEST PROPERTY CORNER OF THE SUBJECT TRACT, ON THE EAST SIDE OF BELTLINE ROAD. ELEVATION 504.85
  - 4.2. STORM DRAIN CURB INLET LID, APPROXIMATELY 356' SOUTH OF THE NORTHWEST PROPERTY CORNER OF THE SUBJECT TRACT, ON THE EAST SIDE OF BELTLINE ROAD. ELEVATION 501.33
5. THE PURPOSE OF THIS PLAT IS TO CREATE 2 LOTS.
6. "THE DETENTION POND WILL BE MAINTAINED BY THE PROPERTY OWNERS."
7. COORDINATES SHOWN HEREON REFERS TO TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE, NORTH AMERICAN DATUM OF 1983 ON GRID COORDINATE VALUES, NO SCALE OR PROJECTION.

**OWNER'S DEDICATION**

NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT BELTLINE VENTURE NO. 1, DOES HEREBY ADOPT THIS PLAT, DESIGNATING THE HEREIN DESCRIBED PROPERTY AS **BELTLINE VENTURE ADDITION**, AN ADDITION TO THE CITY OF SUNNYVALE, DALLAS COUNTY, TEXAS AND DO HEREBY DEDICATE, IN FEE SIMPLE, TO THE PUBLIC USE FOREVER ANY STREETS, ALLEYS, AND FLOODWAY MANAGEMENT AREAS SHOWN THEREON, THE EASEMENTS SHOWN THEREON ARE HEREBY RESERVED FOR THE PURPOSES INDICATED. THE UTILITY AND FIRE LANE EASEMENTS SHALL BE OPEN TO THE GENERAL PUBLIC, FIRE AND POLICE UNITS, AND GARBAGE AND RUBBISH COLLECTION AGENCIES, AND ALL PUBLIC AND PRIVATE UTILITIES FOR EACH PARTICULAR USE. THE MAINTENANCE OF PAVING ON THE UTILITY AND FIRE LANE EASEMENTS IS THE RESPONSIBILITY OF THE PROPERTY OWNER. NO BUILDINGS, FENCES, TREES, SHRUBS OR OTHER IMPROVEMENTS OF GROWTHS SHALL BE CONSTRUCTED, RECONSTRUCTED OR PLACED UPON, OVER AND ACROSS THE EASEMENT AS SHOWN. SAID EASEMENTS BEING HEREBY RESERVED FOR THE MUTUAL USE AND ACCOMMODATION OF ALL PUBLIC UTILITIES USING OR DESIRING TO USE THE SAME. ALL AND ANY PUBLIC UTILITY SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PARTS OF ANY BUILDING, FENCES, TREES, SHRUBS OR OTHER IMPROVEMENTS OR GROWTHS WHICH IN ANY WAY ENDANGER OR INTERFERE WITH THE CONSTRUCTION, MAINTENANCE OR EFFICIENCY OF ITS RESPECTIVE SYSTEM ON THE EASEMENTS AND ALL PUBLIC UTILITIES SHALL AT ALL TIMES HAVE THE FULL RIGHT OF INGRESS AND EGRESS TO OR FROM AND UPON THE SAID EASEMENTS FOR THE PURPOSE OF CONSTRUCTING, RECONSTRUCTING, INSPECTING, PATROLLING, MAINTAINING AND ADDING TO OR REMOVING ALL OR PART OF ITS RESPECTIVE SYSTEMS, WITHOUT THE NECESSITY, AT ANY TIME, OF PROCURING THE PERMISSION OF ANYONE, AND ANY PUBLIC UTILITY SHALL HAVE THE RIGHT OF INGRESS AND EGRESS TO PRIVATE PROPERTY FOR THE PURPOSE OF READING METERS AND MAINTENANCE AND SERVICE REQUIRED OR ORDINARILY PERFORMED BY THE UTILITY.

THIS PLAT IS APPROVED SUBJECT TO ALL PLATTING ORDINANCES, RULES, REGULATIONS, AND RESOLUTIONS OF THE CITY OF SUNNYVALE, TEXAS.

WITNESS MY HAND AT DALLAS, TEXAS, THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2016.

AGENT FOR BELTLINE VENTURE NO. 1 \_\_\_\_\_

STATE OF TEXAS:

COUNTY OF DALLAS:

BEFORE ME, THE UNDERSIGNED AUTHORITY, A NOTARY PUBLIC IN AND FOR DALLAS COUNTY, TEXAS, ON THIS DAY PERSONALLY APPEARED \_\_\_\_\_ KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATIONS THEREIN. GIVEN UNDER MY HAND AND SEAL OF THIS OFFICE THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2016.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS.

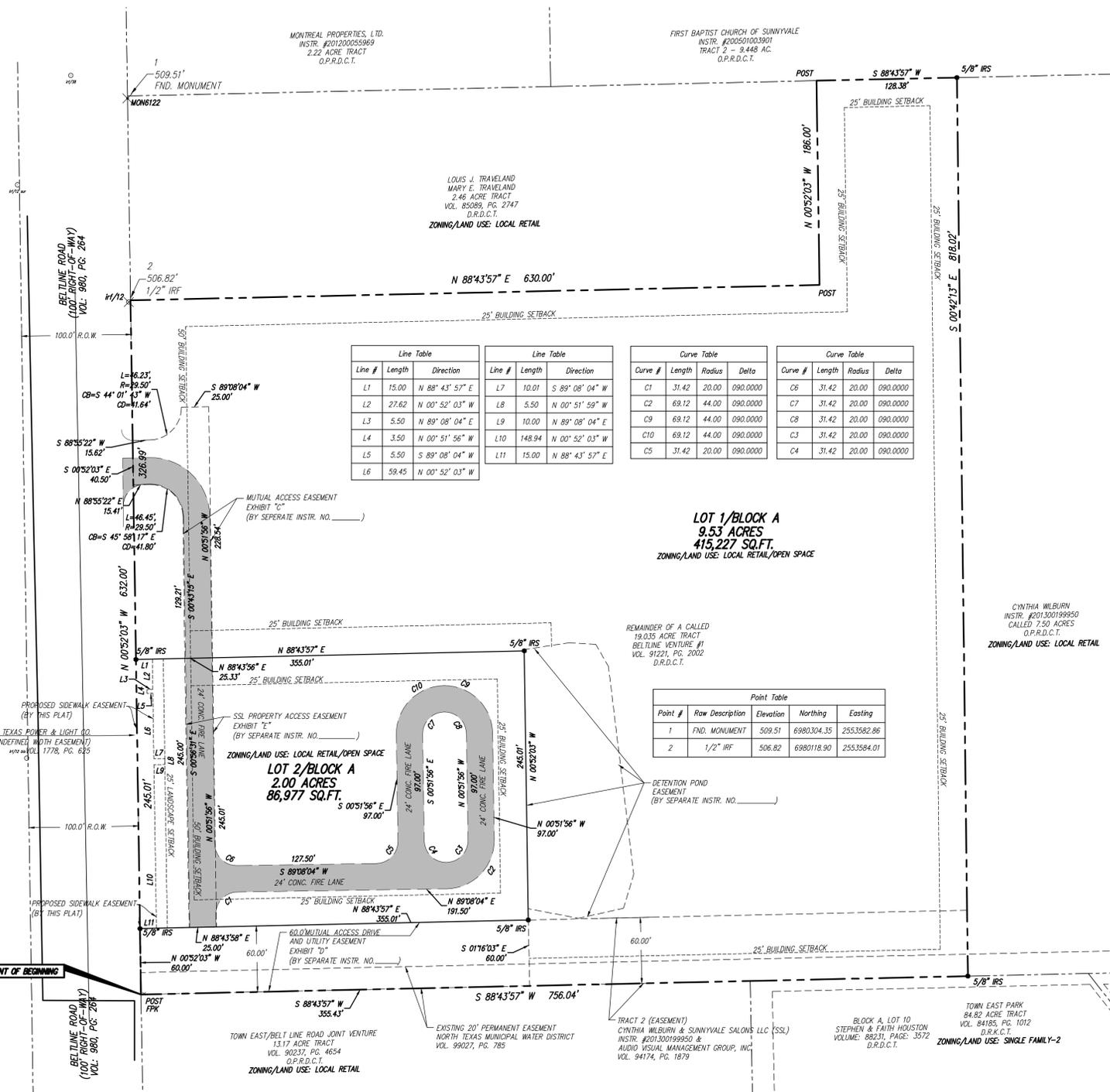
**SURVEYOR'S CERTIFICATE**

I, LOUIS SALCEDO, A REGISTERED PROFESSIONAL LAND SURVEYOR, LICENSED BY THE STATE OF TEXAS, AFFIRM THAT THIS PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, FROM RECORDED DOCUMENTATION, EVIDENCE COLLECTED ON THE GROUND DURING FIELD OPERATIONS AND OTHER RELIABLE DOCUMENTATION; AND THAT THIS PLAT SUBSTANTIALLY COMPLIES WITH THE RULES AND REGULATIONS OF THE TEXAS BOARD OF PROFESSIONAL LAND SURVEYING, AND TEXAS LOCAL GOVERNMENT CODE, CHAPTER 212. I FURTHER AFFIRM THAT MONUMENTATION SHOWN HEREON WAS EITHER FOUND OR PLACED IN COMPLIANCE WITH THE CITY OF SUNNYVALE DEVELOPMENT CODE; AND THAT THE DIGITAL DRAWING FILE ACCOMPANYING THIS PLAT IS A PRECISE REPRESENTATION OF THIS SIGNED FINAL PLAT.

**PRELIMINARY - THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.**

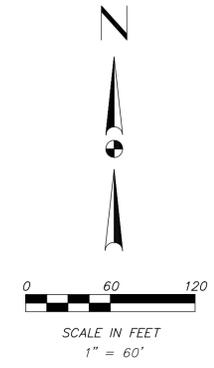
LOUIS M. SALCEDO  
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 3664

DATE \_\_\_\_\_



**Legend**

- 1" IRF 1" IRON PIPE FOUND
- 1" IRF 1" IRON ROD FOUND
- 5/8" IRS 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "SGI 3664", SET



Owner's Certificate  
Town of Sunnyvale  
State of Texas  
County of Dallas

**BELTLINE VENTURE NO. 1** is the Owner of an 11.53 acre tract of land situated in the HENRY J. WEBB Survey, Abstract No. 1588, and being part of a called 19.035 acre tract conveyed to BELTLINE VENTURE No. 1, by deed recorded in Vol. 91221, PG. 2002 D.R.D.C.T., and being in the Town of Sunnyvale, Dallas County, Texas, and being more particularly described as follows:

**BEGINNING** at the southwest corner of said 19.035 acre tract, from which a post with pk nail found, bears N 70°47'36" E a distance of 2.70 feet, and being the northwest corner of a tract of land conveyed to TOWN EAST/BELT LINE ROAD JOINT VENTURE, by deed recorded in Vol. 90237, PG. 4654 D.R.D.C.T., and being in the east line of Belt line Road (100 foot right-of-way):

**THENCE** along the east line of Belt line Road, same being the west line of said 19.035 acre tract, N 00°52'03" W a distance of 632.00 feet to the northwest corner of said 19.035 acre tract, from which a 1/2" iron rod found, bears S 46°00'12" W a distance of 2.32 feet, and being the southwest corner of a tract of land conveyed to Louis J. & Mary E. Traveland by deed recorded in Volume 85089, Page 2747 of the Deed Records of Dallas County, Texas;

**THENCE** along the north line of said 19.035 acre tract and the common south line of said Traveland tract, N 88°43'57" E a distance of 630.00 feet to an interior corner of said 19.035 acre tract, and being the southeast corner of said Traveland tract, from which a fence post bears N 52°00'38" E a distance of 1.01 feet;

**THENCE** along the west line of said 19.035 acre tract and the common east line of said Traveland tract, N 00°52'03" W a distance of 186.00 feet, to the northwest corner of said 19.035 acre tract, from which a fence post bears S 8°24'34" E a distance of 0.87 feet, and being the northeast corner of said Traveland tract, and being in the south line of a tract of land conveyed to First Baptist Church of Sunnyvale by deed recorded in Instrument Number 200501003901 of the Official Public Records of Dallas County, Texas;

**THENCE** along the north line of said 19.035 acre tract, S 88°43'57" W a distance of 128.38 feet to a 5/8" iron rod set with yellow plastic cap stamped "SGI 3664", and being the northeast corner of said 11.53 acre subject tract, and being the northwest corner of a tract of land conveyed to Cynthia Wilburn by deed recorded in Instrument Number 201300199950 of the Official Public Records of Dallas County, Texas;

**THENCE** along the east line of said 11.53 acre subject tract and the common west line of said Wilburn tract, S 00°42'13" W a distance of 818.02 feet to a 5/8" iron rod with plastic cap stamped "SGI 3664" set for the southeast corner of said 11.53 acre subject tract, and being the southwest corner of said Wilburn tract, and being in the north line of the Town East Park subdivision, recorded in Volume 84185, Page 1012 of the Map Records of Dallas County, Texas;

**THENCE** along the north line of the Town East Park subdivision and said Town East/Belt Line Road tract, same being the south line of said 19.035 acre tract, S 88°43'57" E a distance of 756.04 feet to the **POINT OF BEGINNING**, and containing 502,204 square feet or 11.53 acres of land, more or less.

**BELTLINE VENTURE ADDITION  
LOTS 1 & 2, BLOCK A  
502,204 SQ. FT. OR 11.53 AC.**

PART OF  
A CALLED 19.035 ACRE TRACT OF LAND OUT OF  
HENRY J WEBB SURVEY, ABSTRACT NO. 1588  
IN THE  
TOWN OF SUNNYVALE, DALLAS COUNTY, TEXAS

**SGI** SALCEDO GROUP, INC.  
110 SW 2ND STREET  
GRAND PRAIRIE, TX 75050  
PHONE: (214)-941-8610

**OWNER**  
BELTLINE VENTURE NO 1  
C/O HOUSEMAN PROPERTIES  
3838 OAK LAWN STE 1720  
DALLAS, TEXAS 75219  
214-336-9303

**SURVEYOR**  
SALCEDO GROUP, INC.  
110 SW 2ND STREET  
GRAND PRAIRIE, TX 75050  
(214) 941-8610

**FLOOD STATEMENT:** According to Community Panel No. 4813C0390K, dated July 7, 2014 of the Federal Emergency Management Agency, National Flood Insurance Program map, this property is within Flood Zone "X", which is not a special flood hazard area.

If this site is not within an identified special flood hazard area, this flood statement does not imply that the property and/or structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This statement shall not create liability on the part of the Surveyor.

STATE OF TEXAS:  
COUNTY OF DALLAS:  
BEFORE ME, THE UNDERSIGNED AUTHORITY, A NOTARY PUBLIC IN AND FOR DALLAS COUNTY, TEXAS, ON THIS DAY PERSONALLY APPEARED \_\_\_\_\_ KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATIONS THEREIN. GIVEN UNDER MY HAND AND SEAL OF THIS OFFICE THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2016.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS.



# Town of Sunnyvale

September 19, 2016

Prepared By: **Rashad Jackson, AICP**  
**Director of Development Services**

## Summary:

**APPLICANT: JAMES SNEED**  
**AT OR ABOUT: 323 BARNES BRIDGE ROAD**  
**REQUEST: FINAL PLAT – SNEED ADDITION, LOT 1,  
BLOCK A**

## Background:

The applicant is the representative for a residential property located at 323 Barnes Bridge Road. The applicant proposes to subdivide and create a single 5 acre lot (The Sneed Addition) out of an existing 10 acre parcel. The 5 acre lot will be for the future development of a single residence. The preliminary plat for the proposed subdivision was approved in June 2016.

Prior to submission of this plat application, the property received a lot width variance from the Board of Adjustment. The variance, received on May 24<sup>th</sup>, allows for a lot width of 184 feet for the subject property. The proposed final plat has been submitted in accordance with the Board of Adjustment variance approval and all other Town zoning and subdivision ordinance requirements.

## Public Notice

Notice was published within the Town's Official Newspaper on Wednesday, August 31<sup>st</sup>, 2016. Letters were also provided to surrounding properties meeting the distance requirements as provided within the zoning ordinance. Eight (8) letters were sent out. As of the writing of this staff memo, one (1) letter had been returned in favor of the request.

## Board of Adjustment – 05/24/2016

Variance from Section 3.7 Area Standards for Detached Single Family Dwellings, Chart 3.2 Area Standards for Residential Lots to reduce the lot width requirement from 250' to 184' for two (2) proposed residential lots located at or about 323 Barnes Bridge Road.

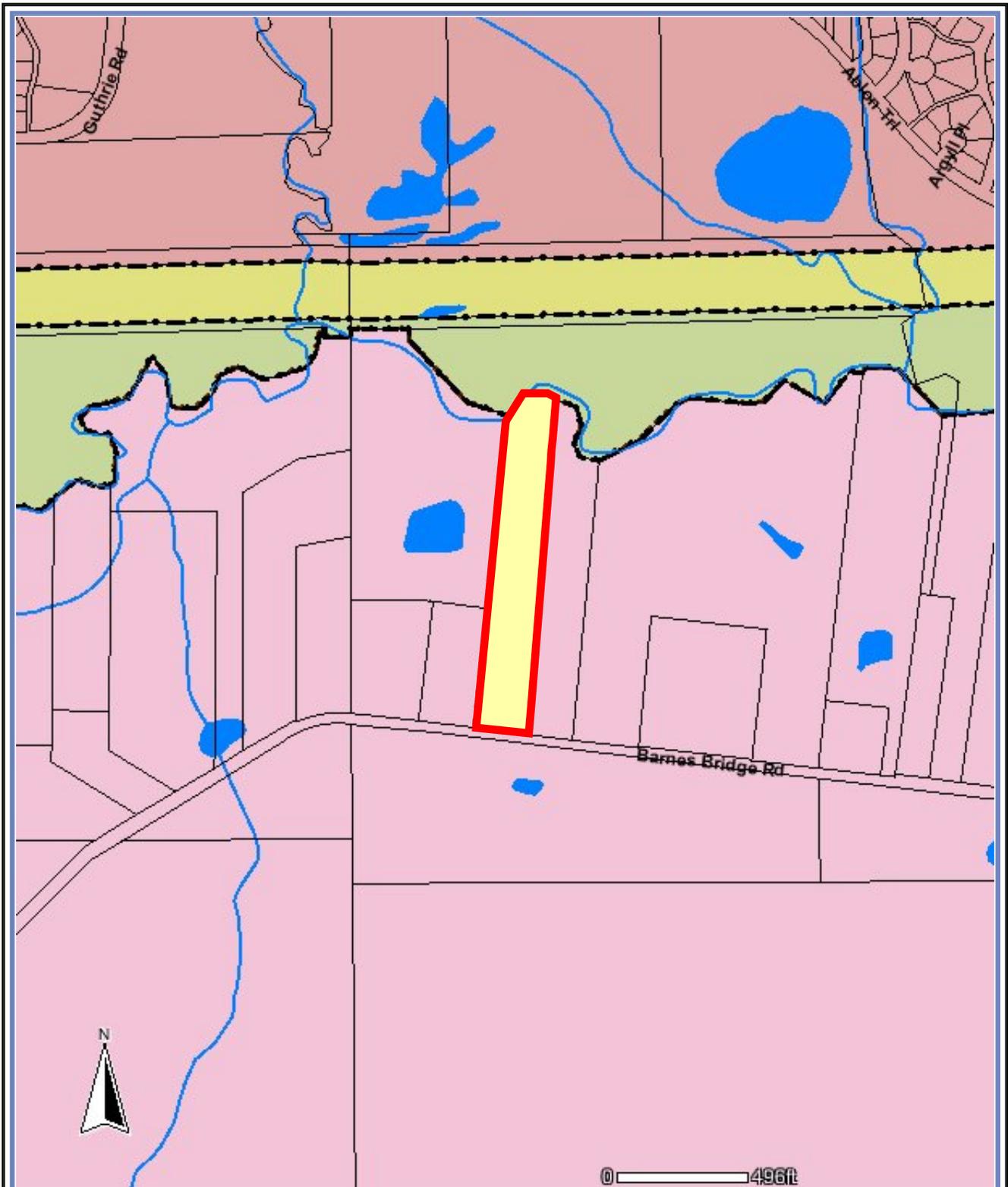
Chairman Hoffman called for a motion. Member Turner made a motion to approve the request. Member Noster seconded. Chairperson Hoffman called for a vote, and with all members voting affirmative, the motion passed unanimously 5-0.

## Staff Recommendation

1. Town staff recommends approval of the final plat. The proposed plat meets the standards set forth in the Zoning Ordinance.

## Attachments

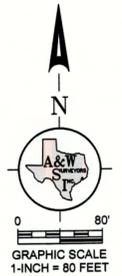
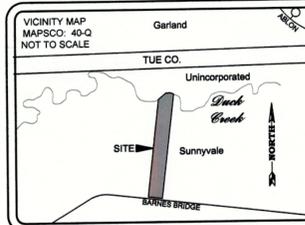
- Location Map
- Proposed final plat
- Notice Letter



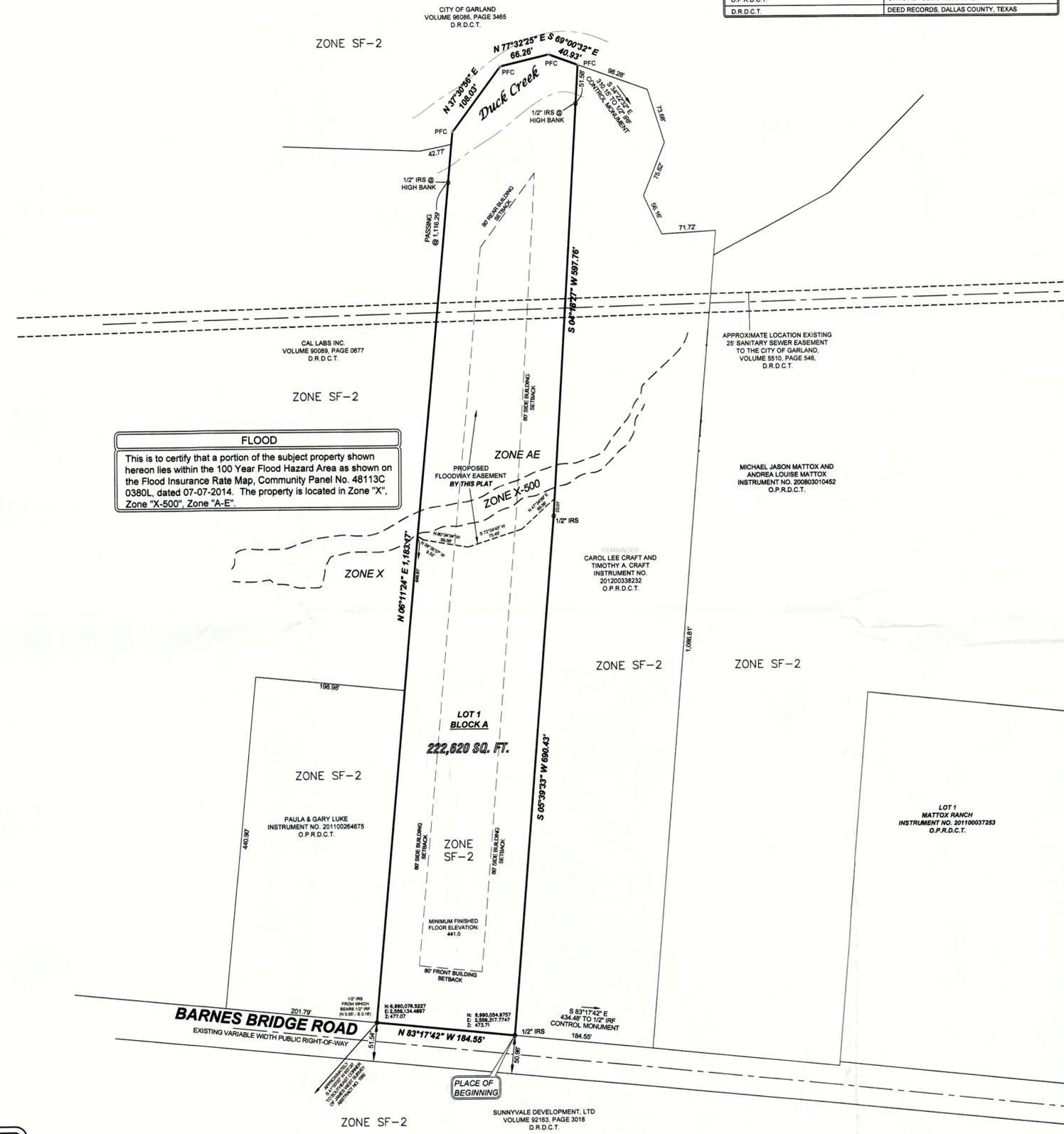
**Dallas Central  
Appraisal District**  
[www.dallascad.org](http://www.dallascad.org)

**DISCLAIMER**

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.



LEGEND	
1/2" IRS	1/2" IRON ROD SET
1/2" IRF	1/2" IRON ROD FOUND
PFC	POINT FOR CORNER
O.P.R.D.C.T.	OFFICIAL PUBLIC RECORDS, DALLAS COUNTY, TEXAS
D.R.D.C.T.	DEED RECORDS, DALLAS COUNTY, TEXAS



**FLOOD**  
 This is to certify that a portion of the subject property shown hereon lies within the 100 Year Flood Hazard Area as shown on the Flood Insurance Rate Map, Community Panel No. 48113C 0380L, dated 07-07-2014. The property is located in Zone "X", Zone "X-500", Zone "A-E".

**SURVEYOR'S NOTES**

- 1) BASIS OF BEARING DETERMINED BY PLAT RECORDED IN INSTRUMENT NO. 201100037253, OFFICIAL PUBLIC RECORDS, DALLAS COUNTY, TEXAS.
- 2) NOTICE: SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF CITY SUBDIVISION ORDINANCE AND STATE PLATTING STATUTES AND IS SUBJECT TO FINES AND WITHOLDING OF UTILITIES AND BUILDING CERTIFICATES.
- 3) ALL DISTANCES ARE SURFACE DISTANCES.
- 4) THE PURPOSE OF THIS PLAT IS TO CREATE ONE BUILDABLE LOT.

5-24-2016 TOWN OF SUNNYVALE BOARD OF ADJUSTMENT GRANTS VARIANCE FOR MINIMUM FRONTAGE FROM 250' TO 184.55' FOR PROPERTIES LOCATED AT 323 & 321 BARNES BRIDGE ROAD.

**OWNER'S CERTIFICATE**

WHEREAS James Sneed and Robin Sneed are the sole owners of a tract of land located in the JAMES WEST SURVEY, Abstract 1581, Town of Sunnyvale, Dallas County, Texas, and being a part of the same tract of land described in General Warranty Deed to James Sneed and Robin Sneed, recorded in Instrument No. 201800154695, Official Public Records, Dallas County, Texas, and being more particularly described as follows:

Beginning at a 1/2" iron rod with a yellow plastic cap stamped "RPLS 5310" set for corner in the North line of Barnes Bridge Road, a variable width public right-of-way, said point being North 84°51'41" West, a distance of 434.48 feet from the Southwest corner of Lot 1 of Mattox Ranch, an addition to the Town of Sunnyvale, Dallas County, Texas, according to the plat thereof recorded in Instrument No. 201100037253, Official Public Records, Dallas County, Texas;

Thence North 83°17'42" West, along said North line, a distance of 184.55' to a 1/2" iron rod with a yellow plastic cap stamped "RPLS 5310" set at the Southeast corner of a tract of land described in deed to Paula Luke and Gary Luke, recorded in Instrument No. 201100264675, Official Public Records, Dallas County, Texas;

Thence North 06°11'24" East, along the East line of said Luke tract, passing at 1,116.29' a 1/2" iron rod with a yellow plastic cap stamped "RPLS 5310" set for reference in the high bank of Duck Creek, and continuing a total distance of 1,183.17' to a point for corner in said creek;

Thence North 37°30'56" East, along said creek, a distance of 108.03' to a point for corner;

Thence North 77°32'25" East, along said creek, a distance of 66.26' to a point for corner;

Thence South 69°00'32" East, along said creek, a distance of 40.93' to a point for corner;

Thence South 04°18'27" West, passing at a distance of 51.58' a 1/2" iron rod with a yellow plastic cap stamped "RPLS 5310" set for reference at the high bank of said creek, and continuing a total distance of 597.76' to a 1/2" iron rod with a yellow plastic cap stamped "RPLS 5310" set for corner;

Thence South 05°39'33" West, a distance of 690.43' to the PLACE OF BEGINNING and containing 222,620 square feet or 5.111 acres of land.

**SURVEYOR'S CERTIFICATE**

STATE OF TEXAS  
 COUNTY OF DALLAS

THAT I, John S. Turner, do hereby certify that I prepared this plat from an actual survey on the land and that the corner monuments shown thereon were found and/or properly placed under my personal supervision in accordance with the Platting Rules and Regulations of the Planning and Zoning Commission of the Town of Sunnyvale, Texas.

Witness my hand at Mesquite, Texas,  
 This \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

PRELIMINARY, RELEASED 8-18-2016 FOR VIEWING PURPOSES ONLY.  
 THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE.

John S. Turner  
 Registered Professional Land Surveyor #5310

STATE OF TEXAS  
 COUNTY OF DALLAS

BEFORE ME, the undersigned, a Notary Public in and for the said County and State on this day personally appeared John S. Turner, R.P.L.S. NO. 5310, State of Texas, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

Given under my hand and seal of office,  
 This \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

Notary Public in and for the State of Texas

**OWNER'S DEDICATION**

STATE OF TEXAS  
 COUNTY OF DALLAS

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That we, James Sneed and Robin Sneed, do hereby add this plat, designating the herein above described property as **SNEED ADDITION**, an addition to the Town of Sunnyvale, Dallas County, Texas, and does hereby dedicate and convey, in fee simple, to public use forever, the streets and alleys as shown hereon. The easements shown thereon are hereby reserved for the purposes indicated. The easements and fire lanes shall be open to the public, fire and police units, garbage and rubbish collection agencies, and all public and private utilities for each particular use. The maintenance of paving on the utility easements and fire lanes is the responsibility of the property owner. No buildings, fences, trees, shrubs, or other improvements, obstructions, or growths shall be constructed, reconstructed or placed upon, over or across the easements and fire lanes as shown. Said easements being hereby reserved for the mutual use and accommodation of all public utilities using or desiring to use same. The Town of Sunnyvale shall have the right to remove and keep removed from fire lanes, all or parts of any building, fences, trees, shrubs, or other improvements, obstructions, or growths which in any way may endanger or interfere with access of fire units to fire protection facilities or equipment. All and any public utility shall have the right to remove and keep removed all or parts of any building, fences, trees, shrubs, or other improvements or growths which in any way may endanger or interfere with the construction, maintenance or efficiency of its respective system on the easements, and all public utilities shall at all times have the full right of ingress and egress to or from and upon the said easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining and adding to or removing all or parts of its respective systems without the necessity at any time of procuring the permission of anyone. (Any public utility shall have the right of ingress and egress to private property for the purpose of reading meters and any maintenance or service required or ordinarily performed by that utility). Water main and wastewater easement shall also include additional area of working space for construction and maintenance of the systems. Additional easement area is also conveyed for installation and maintenance of manholes, cleanouts, fire hydrants, water services and wastewater services from the main to the curb or pavement line, and description of such additional easements herein granted shall be determined by their location as installed.

This plat approved subject to all platting ordinances, rules, regulations, and resolutions of the Town of Sunnyvale, Texas.

WITNESS, my hand at Sunnyvale, Texas, this the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

By: \_\_\_\_\_  
 James Sneed

STATE OF TEXAS  
 COUNTY OF DALLAS

BEFORE ME, the undersigned, a Notary Public in and for the said County and State, on this day personally appeared, James Sneed, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he or she executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE,  
 this the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

Notary Public in and for The State of Texas

WITNESS, my hand at Sunnyvale, Texas, this the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

By: \_\_\_\_\_  
 Robin Sneed

STATE OF TEXAS  
 COUNTY OF DALLAS

BEFORE ME, the undersigned, a Notary Public in and for the said County and State, on this day personally appeared, Robin Sneed, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he or she executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE,  
 this the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

Notary Public in and for The State of Texas

**CERTIFICATE OF APPROVAL**

RECOMMENDED FOR APPROVAL BY THE PLANNING AND ZONING COMMISSION OF SUNNYVALE, TEXAS, on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

ATTEST:

Signature of City Secretary \_\_\_\_\_ Date \_\_\_\_\_

Signature of Chairman \_\_\_\_\_ Date \_\_\_\_\_

APPROVED BY THE TOWN COUNCIL OF SUNNYVALE, TEXAS, on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

Mayor \_\_\_\_\_ Date \_\_\_\_\_

**A&W SURVEYORS, INC.**  
 Professional Land Surveyors  
 TEXAS REGISTRATION NO. 100174-00  
 P.O. BOX 870029, MESQUITE, TX. 75187  
 PHONE: (972) 681-4975 FAX: (972) 681-4954  
 WWW.AWSURVEY.COM

~ PROPERTY ADDRESS: 321 Barnes Bridge Road ~  
 Owners: James Sneed and Robin Sneed  
 ~ 321 Barnes Bridge Road, Sunnyvale, TX 75182 ~  
 ~ 214-202-3212 ~

Job No: 16-0247 | Drawn by: 543 | Date: 05-24-2016 | Revised: 6-9-16  
 "A professional company operating in your best interest"

**FINAL PLAT**  
**SNEED ADDITION**  
**LOT 1, BLOCK A**

BEING 5.111 ACRES OF LAND OUT OF THE JAMES WEST SURVEY, ABSTRACT 1581 TOWN OF SUNNYVALE, DALLAS COUNTY, TEXAS

DEVELOPING ONE (1) LOT TO SF-2 STANDARDS  
 DATE OF PREPARATION: 5-24-2016



**Notice of Application for Final plat  
Town of Sunnyvale  
Planning & Zoning Commission**

The Town of Sunnyvale has received a request from James Sneed for a final plat approval of the Sneed Addition. The request will allow for the development of a single residence on the subject property. The location of the property, 321 Barnes Bridge Road, is shown on the attached exhibit.

The Planning and Zoning Commission will hear this application on Monday, September 19, 2016 and the Town Council will consider the application on either Monday, September 26, 2016 or Monday, October 10, 2016. The hearings will be conducted in open session at Town Hall, 127 Collins Road at 7:00 P.M. If you have comments on this application, you may present them in person at these meetings or may submit written comments at any time on or before date of the hearings.

The final plat application and supporting documents are on file at Town Hall and may be examined at no charge. For further information contact Rashad Jackson, Director of Development Services at (972) 203-4103 or [rashad.jackson@townofsunnyvale.org](mailto:rashad.jackson@townofsunnyvale.org).

- I am in favor of the final plat  
 I am opposed to the final plat

Explanation:

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Signature:

*J. C. Lupton*

Printed Name:

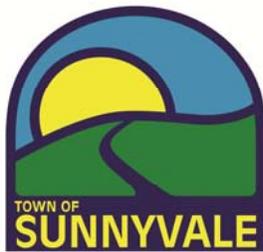
Address:

Date:

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# Town of Sunnyvale

September 19, 2016

Prepared By: **Rashad Jackson, AICP**  
 Director of Development Services

**Summary:**

**APPLICANT: COLIN HELFFRICH, P.E.**  
**AT OR ABOUT: APPROX. 30 ACRES SOUTH OF MIDSTREAM DRIVE AND WEST OF BENWICK DRIVE**  
**REQUEST: FINAL PLAT – STONEY CREEK PHASE 2G**

**Background:**

The applicant is requesting final plat approval for Stoney Creek Phase 2G. The proposed final plat shows a total of 47 single family residential lots ranging in size from 18,000 square feet to 31,633 square feet. One (1) open space lot will also be provided within the southeast corner of the development. The total area of Phase 2G is 30.679 acres. Lots provided around the perimeter of the development do not abut alleyways. However, those lots located within Block E, have an internal alleyway. The right-of-way within the development is 55 feet in width. A 25' open space/landscape buffer area has been provided along the west and south sides of the development.

**Analysis**

Town staff has evaluated the proposed development against the Zoning Ordinance, Subdivision Ordinance, and Engineering Design Standards as well as the more specific requirements for a PRO contained within Ordinance No. 463. The table below shows the approved lot totals for Tract 2 of the Stoney Creek development.

TRACT 2 ZONING REQUIREMENTS					
ZONING REQUIREMENTS			CURRENT DEVELOPMENT		
MAXIMUM NUMBER OF UNITS:	472		CURRENT TOTAL NUMBER OF UNITS:	472	
MAXIMUM ACRES:	-		TOTAL ACRES:	330.388	
MAXIMUM DENSITY:	1.43	UNITS/ACRE	DENSITY:	1.43	UNITS/ACRE
ZONING LOT SIZE REQUIREMENTS			CURRENT RESIDENTIAL LOT SIZE		
15,000-17,999	182	UNITS	15,000-17,999	148	UNITS
18,000-23,999	213	UNITS	18,000-23,999	274	UNITS
>24,000	77	UNITS	>24,000	50	UNITS
PHASE 2A			PHASE 2E		
15,000-17,999	43	UNITS	15,000-17,999	46	UNITS
18,000-23,999	32	UNITS	18,000-23,999	24	UNITS
>24,000	9	UNITS	>24,000	2	UNITS
PHASE 2B			PHASE 2F		
15,000-17,999	2	UNITS	15,000-17,999	0	UNITS
18,000-23,999	63	UNITS	18,000-23,999	63	UNITS
>24,000	9	UNITS	>24,000	19	UNITS
PHASE 2C			PHASE 2G		
15,000-17,999	45	UNITS	15,000-17,999	0	UNITS
18,000-23,999	33	UNITS	18,000-23,999	43	UNITS
>24,000	1	UNITS	>24,000	4	UNITS
PHASE 2D					
15,000-17,999	12	UNITS			
18,000-23,999	16	UNITS			
>24,000	8	UNITS			

Upon review, staff notes phase 2G has been developed in accordance with the Tract 2 requirements. With only phases 2E and 2F of Tract 2 remaining, the development is consistent with the approved lot size and lot count approved for the tract.

Density and Lot Count Requirements

The property is zoned SF-3 PRO, Single Family Residential 3 Planned Residential Overlay. Ordinance No. 463 provides further regulations for how Tract 2 of Stoney Creek is to develop. The total number of dwelling units provided within Tract 2 shall not exceed 472. To date (with 2G included), Tract 2 has a total of 318 lots. The overall maximum density per gross usable acre shall not exceed 1.43 dwelling units per acre.

Setbacks and Lot Size

As per the zoning requirements and the PRO standards, lots within phase 2G are required to be a mix of sizes. The following lot sizes are developed within phase 2G.

Number of Units	Lot Size
0	Greater than or equal to 15,000 square feet
43	Greater than or equal to 18,000 square feet
4	Greater than or equal to 24,000 square feet

Lot width, lot depth, and setbacks are determined based upon the size of the lot provided. In all instances, lot depth must be greater than lot width for the lot sizes noted. Setbacks and lot width requirements for lots within these size ranges are as follows:

Lot Size	Width	Front Setback	Side Setback	Rear Setback
14,000 to 19,999	100	50	20	30
20,000 to 34,999	120	60	30	40

The lots provided for within this phase meet the requirements noted above. No amendments or waivers are necessary.

Landscaped Buffer Areas and Open Space

Perimeter buffering is required for Tract 2. Along the south and west sides of the proposed phase, an open space area has been provided. This area is twenty-five (25) feet in width. According to the PRO requirements, this area is to what is referred to as "Landscape Section A-A". A six (6) foot berm with landscaping materials atop (Chinese photinia plant) is provided.

Tract 2 requires that 45.64 acres of open space be provided. At this time, 38.561 acres of open space will have been provided for within this area of the development. Town staff will continue to monitor the open space so as to ensure that the correct amount is provided.

Street Lighting

Decorative lighting is required at all residential subdivision entries. Additional lighting is to be placed throughout the development. Light poles are to be fourteen (14) feet in height. Traffic information and street names shall be placed on the poles. The applicant will need to install the standard Sunnyvale light pole.

### Fire Hydrants

Fire Hydrants are located in accordance with the regulations as provided for within the Zoning Ordinance and Subdivision Ordinance. Fire hydrants must be located at all intersecting streets and at intermediate locations between intersections at a maximum spacing of five hundred (500) feet.

### Architectural Details

If fencing is to be provided along the lot perimeters, such fencing must meet the requirements of the zoning ordinance. Fencing adjacent to open space, must have openings that do not cover more than fifty (50) percent of the fence area shall be used.

Garages may not face the front of the lot. No front building elevation or plan for a single-family detached dwelling shall be repeated with a block face or within 1,000 feet along a street(s). All residential units shall consist of ninety (90) percent brick or stone, with exception given to doors and windows.

### Sidewalks, Trails, and Alleys

No trails have been provided within this portion of the development. Sidewalks will be provided and must be constructed in accordance with the Town's requirements.

### Public Notice

Public notice was provided to the Town's Official Newspaper for publication on August 31<sup>st</sup>, 2016. Letters were also sent to property owners' within 400'. The total number of letters sent was thirty-three (33). As of the release of the staff memo, one (1) response had been received in favor.

### Fiscal Impact

Ordinance No. 463 requires that the developer contribute \$1,100 per lot for traffic mitigation fees. This would equate to \$51,700. The intent of these fees is for two (2) designated roadway projects: Collins Rd (from Town East to Tripp Rd) and Tripp Rd/Collins Rd intersection improvements. To date, \$418,800 have been contributed to the fund.

### Staff Recommendation

Town staff has the following comments/recommendations for consideration:

1. The engineering comments, must be satisfactorily addressed prior to Town signature and recording of the plat.
2. HOA documents are required for the proposed development.
3. The applicant is subject to the payment of traffic mitigation fees in accordance with Ordinance No. 463 at \$1,100 per lot to be paid prior to plat recording. (\$51,700)
4. Lighting, fire hydrants, sidewalks, etc. must be in accordance with zoning ordinance as well as PRO requirements. All franchise utilities and landscaping must be inspected and approved by Town staff prior to the recording of the final plat with Dallas County.

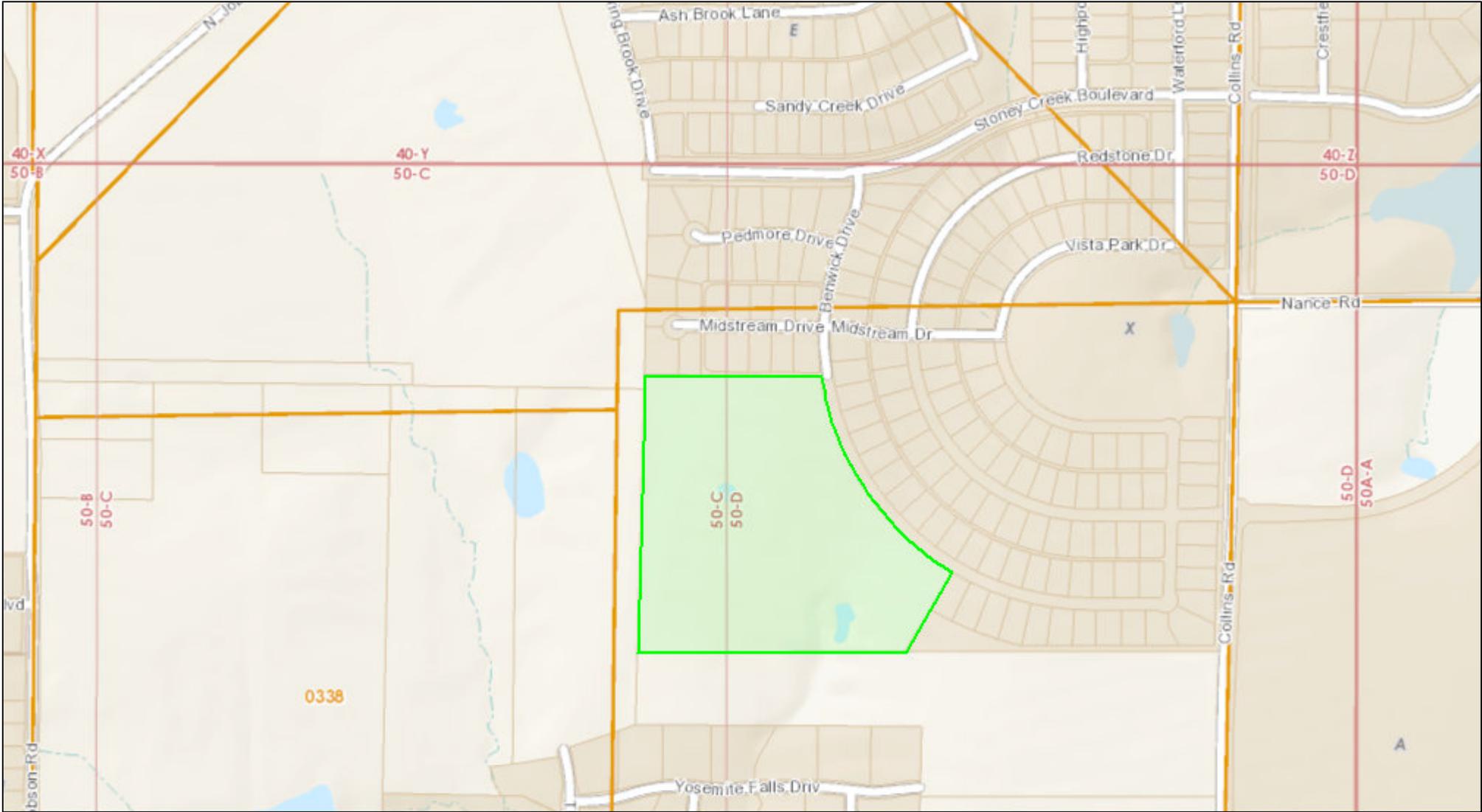
### Attachments

- Location Map
- Final Plat: Stoney Creek Phase 2G
- Phase Map – Concept Plan
- Notice Letter

# Stoney Creek 2G

DCAD ID: 65059305510010000

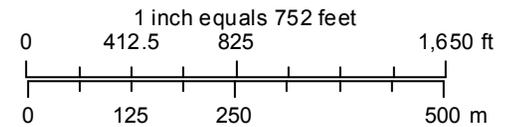
Date of copy: 9/6/2016



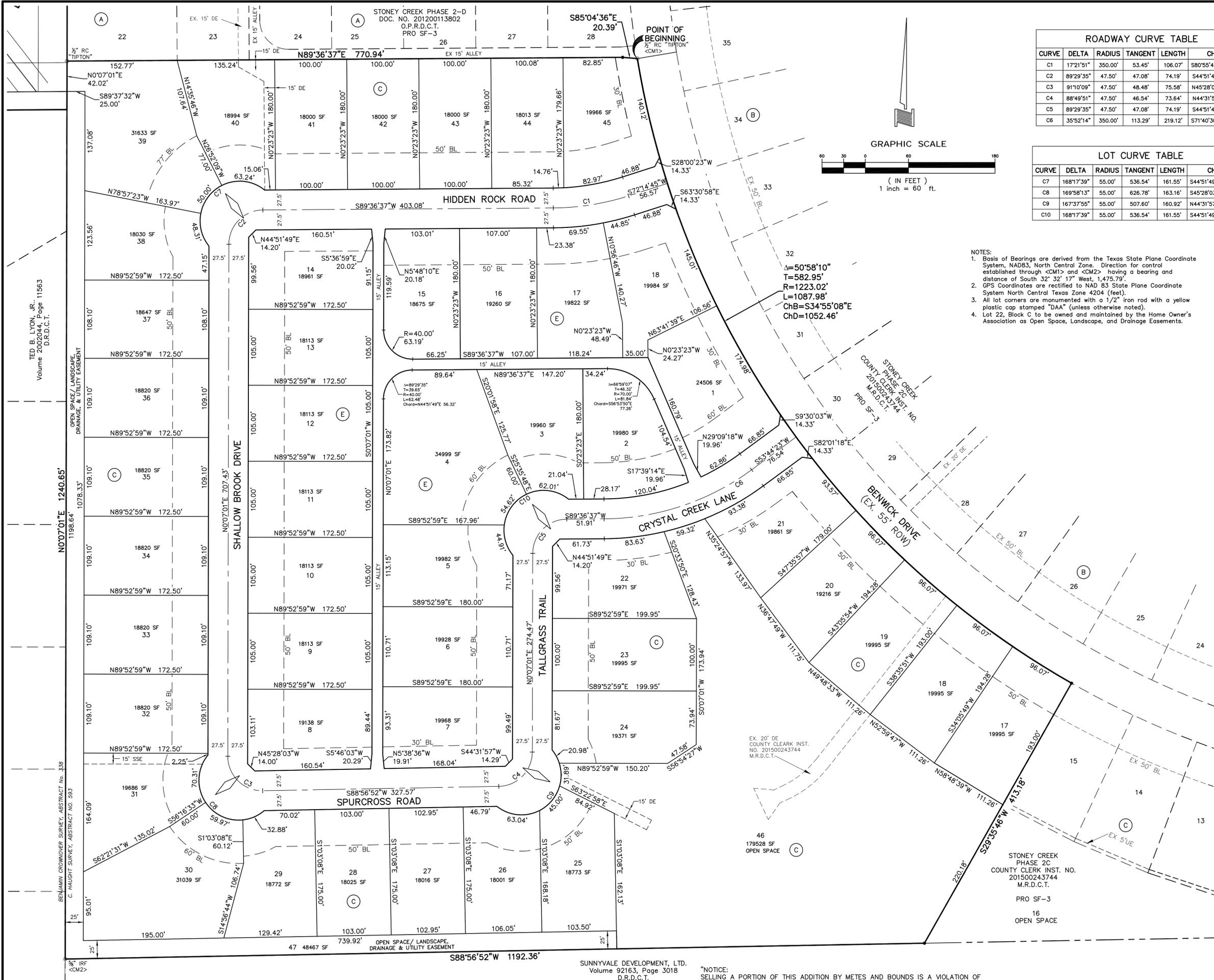
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Dallas Central Appraisal District  
2949 N Stemmons Freeway  
Dallas, TX 75247-6195  
(214) 631-1342  
[www.dallascad.org](http://www.dallascad.org)



DCAD, NCTCOG, USGS, Esri, Inc

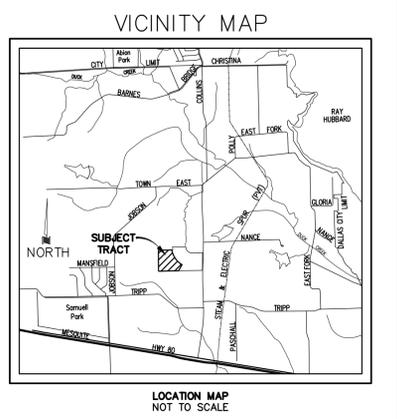
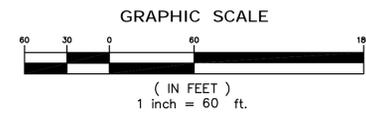


**ROADWAY CURVE TABLE**

CURVE	DELTA	RADIUS	TANGENT	LENGTH	CHORD
C1	17°21'51"	350.00'	53.45'	106.07'	S80°55'41"W 105.67'
C2	89°29'35"	47.50'	47.08'	74.19'	S44°51'49"W 66.88'
C3	91°10'09"	47.50'	48.48'	75.58'	N45°28'03"W 67.86'
C4	88°49'51"	47.50'	46.54'	73.64'	N44°31'57"E 66.49'
C5	89°29'35"	47.50'	47.08'	74.19'	S44°51'49"W 66.88'
C6	35°52'14"	350.00'	113.29'	219.12'	S71°40'30"W 215.56'

**LOT CURVE TABLE**

CURVE	DELTA	RADIUS	TANGENT	LENGTH	CHORD
C7	168°17'39"	55.00'	536.54'	161.55'	S44°51'49"W 109.43'
C8	169°58'13"	55.00'	626.78'	163.16'	S45°28'03"E 109.58'
C9	167°37'55"	55.00'	507.60'	160.92'	N44°31'57"E 109.36'
C10	168°17'39"	55.00'	536.54'	161.55'	S44°51'49"W 109.43'



- NOTES:**
- Basis of Bearings are derived from the Texas State Plane Coordinate System, NAD83, North Central Zone. Direction for control established through <CM1> and <CM2> having a bearing and distance of South 32° 32' 17" West, 1,475.79'.
  - GPS Coordinates are rectified to NAD 83 State Plane Coordinate System North Central Texas Zone 4204 (feet).
  - All lot corners are monumented with a 1/2" iron rod with a yellow plastic cap stamped "DAA" (unless otherwise noted).
  - Lot 22, Block C to be owned and maintained by the Home Owner's Association as Open Space, Landscape, and Drainage Easements.

- LEGEND**
- BTP = BY THIS PLAT
  - BSE = BY SEPARATE INSTRUMENT
  - SWE = SIDEWALK EASEMENT
  - DE = DRAINAGE EASEMENT
  - SSE = SANITARY SEWER EASEMENT
  - UE = UTILITY EASEMENT
  - TUE = TRANSFORMER & UTILITY EASEMENT
  - HOA = HOME OWNERS ASSOCIATION
  - BL = BUILDING LINE
  - D.R.D.C.T. = DEED RECORDS, DALLAS COUNTY, TEXAS
  - M.R.D.C.T. = MAP RECORDS, DALLAS COUNTY, TEXAS
  - O.P.R.D.C.T. = OFFICIAL PUBLIC RECORD, DALLAS COUNTY, TEXAS
  - RC = RED CAP
  - IRF = IRON ROD FOUND
  - <CM> = CONTROLLING MONUMENT
  - ◇ DENOTES STREET NAME CHANGE
  - ⊙ = 1/2" IRON ROD FOUND W/ YELLOW PLASTIC CAP STAMPED "DAA" (UNLESS OTHERWISE NOTED)
  - = 1/2" IRON ROD SET W/ YELLOW PLASTIC CAP STAMPED "DAA" (UNLESS OTHERWISE NOTED)

**FINAL PLAT**  
**STONEY CREEK PHASE 2G**  
 LOTS 17-46, BLOCK C  
 LOTS 1-18, BLOCK E  
 ZONED PRO "SF-3"  
 47 SINGLE-FAMILY RESIDENCE &  
 2 OPEN SPACE LOTS  
 30.679 ACRES

C. HAUGHT SURVEY, ABSTRACT NO. 593  
 TOWN OF SUNNYVALE, DALLAS COUNTY, TEXAS  
 SEPTEMBER 2014 SCALE: 1" = 60'  
 OWNER  
**STONEY CREEK PROPERTIES, L.L.C.**  
 14755 PRESTON ROAD ~ SUITE 710  
 DALLAS, TEXAS 75254  
 CONTACT: DARREL AMEN ~ 972-702-8699

ENGINEER  
**DOWDEY, ANDERSON & ASSOCIATES, INC.**  
 5225 Village Creek Drive, Suite 200 Plano, Texas 75093 972-931-0694  
 STATE REGISTRATION NUMBER: F-399  
 SURVEY FIRM REGISTRATION NUMBER: 10077800

TED B. LYON, JR.,  
 Volume 200204, Page 11563  
 D.R.D.C.T.

REVISED:

SUNNYVALE DEVELOPMENT, LTD.  
 Volume 92163, Page 3018  
 D.R.D.C.T.

NOTICE:  
 SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF  
 CITY SUBDIVISION ORDINANCE AND STATE PLATTING STATUTES AND IS SUBJECT TO  
 FINES AND WITHHOLDING OF UTILITIES AND BUILDING CERTIFICATES"

**OWNER'S CERTIFICATE**

STATE OF TEXAS §

COUNTY OF DALLAS §

WHEREAS, STONEY CREEK PROPERTIES, L.L.C., is the owner of a tract of land situated in the C. HAUGHT SURVEY, ABSTRACT NO. 593 and being part of that tract of land described in Deed to Stoney Creek Properties, LLC, as recorded in Document Number 20070448727, Deed Records, Dallas County, Texas and being more particularly described as follows:

BEGINNING at a 1/2 inch iron rod with a red plastic cap stamped "TIPTON" found in the west line of Benwick Drive, a 55 foot right-of-way, for a south corner of STONEY CREEK PHASE 2-D, an addition to the Town of Sunnyvale, Dallas County, Texas, according to the Plat thereof recorded in Document No. 201200113802, Official Public Records, Dallas County, Texas, said point being the beginning of a curve to the left having a central angle of 50 degrees 58 minutes 10 seconds, a radius of 1,223.02 feet and a chord bearing and distance of South 34 degrees 55 minutes 08 seconds East, 1,052.46 feet;

THENCE with said west line of Benwick Drive and said curve to the left, an arc distance of 1,087.98 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "DAA" set for corner;

THENCE South 29 degrees 35 minutes 46 seconds West, leaving said west line, a distance of 413.18 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "DAA" set in north line of a tract of land described in Deed to Sunnyvale Development, LTD., as recorded in Volume 92163, Page 3018, Deed Records, Dallas County, Texas, for corner;

THENCE South 88 degrees 56 minutes 52 seconds West, with said north line, a distance of 1,192.36 feet to 5/8 inch iron rod found in the east line of a tract of land described in Deed to Ted B. Lyon, Jr. as recorded in Volume 2002044, Page 11563, Deed Records, Dallas County, Texas, for the common southwest corner of this tract and northwest corner of said Sunnyvale Development, LTD. tract;

THENCE North 00 degrees 07 minutes 01 seconds East, with said east line, a distance of 1,240.65 feet to a 1/2 inch iron rod with a red plastic cap stamped "TIPTON" found in the above mentioned south line of STONEY CREEK PHASE 2-D, Addition;

THENCE North 89 degrees 36 minutes 37seconds East, with said south line, a distance of 770.94 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "DAA" set for corner;

THENCE South 85 degrees 04 minutes 36 seconds East, continuing with said south line, a distance of 20.39 feet to the POINT OF BEGINNING and containing 30.679 acres of land, more or less.

**DEDICATION STATEMENT**

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That STONEY CREEK PROPERTIES, L.L.C., acting by and through its duly authorized officers does hereby adopt this, designating the herein above described property as STONEY CREEK PHASE 2G, an addition to the Town of Sunnyvale, Dallas, County, Texas, and does hereby dedicate and convey, in fee simple, to public use forever, the streets and alleys as shown hereon. The easements shown thereon are hereby reserved for the purposes indicated. The easements and fire lands shall be open to the public, fire and police units, garbage and rubbish collection agencies, and all public and private utilities for each particular use. The maintenance of paving on the utility easements and fire lanes is the responsibility of the property owner. No buildings, fences, trees, shrubs, or other improvements, obstructions, or growths shall be constructed, reconstructed or placed upon, over or across the easements and fire lanes as shown. Said easements being hereby reserved for the mutual use and accommodation of all public utilities using or desiring to use same. The Town of Sunnyvale shall have the right to remove and keep removed from fire lanes, all or parts of any building, fences, trees, shrubs, or other improvements, obstructions, or growths which in any way may endanger or interfere with access of fire units to fire protection facilities or equipment. All, and any public utility shall have the right to remove and keep removed all or parts of any building, fences, trees, shrubs, or other improvements or growths which in any way may endanger or interfere with the construction, maintenance or efficiency of its respective system on the easements, and all public utilities shall at all times have the full right of ingress and egress to or from and upon the said easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining and adding to or removing all or parts of its respective systems without the necessity at any time of procuring the permission of anyone. (Any public utility shall have the right of ingress and egress to private property for the purpose of reading meters and any maintenance or service required or ordinarily performed by that utility).

Owner hereby grants and conveys to the Town of Sunnyvale and the general public use forever an access easement for ingress, egress, park and recreation use in, on and under Open Space shown hereon. Owner hereby grants and conveys to the Town of Sunnyvale and the general public a drainage easement in, on and under all Open Space shown hereon. The Town of Sunnyvale shall have the right but not the obligation to maintain drainage facilities, public trails and landscaped areas within all said easements.

Owner hereby grants the Town of Sunnyvale the irrevocable option which option is coupled with an interest, runs with the land and which option shall expire twenty (20) years from the date of this plat, to receive by dedication in fee simple for park recreation and drainage purposes all Open Space shown hereon, landscaped buffers and trail improvements associated therewith at no cost to the Town of Sunnyvale. This option may be exercised by notice from the Town to Owner or its successors or assigns.

The easement, rights, and privileges granted by this conveyance are exclusive, and Owner covenants not to convey any other easement or conflicting rights in the area covered by this grant. The easements shown hereon shall be perpetual. Owner's heirs, personal representatives, successors, and assigns are and shall be bound to warrant and forever defend the easement and rights conveyed in this instrument against every person lawfully claiming or to claim all or any part of the interest in the Property.

Water main and wastewater easement shall also include additional area of working space for construction and maintenance of the systems. Additional easement area is also conveyed for installation and maintenance of manholes, cleanouts, fire hydrant, water services and wastewater services from the main to the curb or pavement line, and description of such additional easements herein granted shall be determined by their location as installed.

This plat approved subject to all platting ordinances, rules, regulations, and resolutions of the Town of Sunnyvale, Texas.

WITNESS MY HAND THIS \_\_\_\_\_ DAY OF, \_\_\_\_\_ 2016

STONEY CREEK PROPERTIES, L.L.C.

By: \_\_\_\_\_

THE STATE OF TEXAS §

COUNTY OF DALLAS §

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared \_\_\_\_\_ known to me to be the person and officer whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same as a duly authorized officer of such corporation, for the purposes and consideration therein expressed, and in the capacity herein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

\_\_\_\_\_  
Notary Public, in and for the State of Texas

**SURVEYOR'S CERTIFICATE**

STATE OF TEXAS §

COUNTY OF COLLIN §

KNOW ALL MEN BY THESE PRESENTS:

That I, Sean Patton, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments shown hereon were found or properly placed under my personal supervision in accordance with the Platting Rules and Regulations of the City of Plano, Texas.

\_\_\_\_\_  
Sean Patton  
Registered Professional Land Surveyor  
No. 5660

STATE OF TEXAS §

COUNTY OF COLLIN §

BEFORE ME, the undersigned, a Notary Public in and for the State of Texas on this day personally appeared Sean Patton, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed, and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the \_\_\_\_\_ day of \_\_\_\_\_, 2016.

\_\_\_\_\_  
Notary Public in and for the State of Texas

**CERTIFICATE OF APPROVAL**

APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE TOWN OF SUNNYVALE on this the \_\_\_\_\_ day of \_\_\_\_\_, 2016.

\_\_\_\_\_  
Chairman, Planning and Zoning Commission

APPROVED BY THE TOWN COUNCIL OF THE TOWN OF SUNNYVALE on this the \_\_\_\_\_ day of \_\_\_\_\_, 2016.

\_\_\_\_\_  
Mayor

ATTEST:

\_\_\_\_\_  
Town Secretary

FINAL PLAT  
STONEY CREEK PHASE 2G  
LOTS 17-46, BLOCK C  
LOTS 1-18, BLOCK E  
ZONED PRO "SF-3"  
47 SINGLE-FAMILY RESIDENCE &  
2 OPEN SPACE LOTS  
30.679 ACRES

C. HAUGHT SURVEY, ABSTRACT NO. 593  
TOWN OF SUNNYVALE, DALLAS COUNTY, TEXAS

SEPTEMBER 2014 SCALE: 1" = 60'

OWNER  
STONEY CREEK PROPERTIES, L.L.C.  
14755 PRESTON ROAD ~ SUITE 710  
DALLAS, TEXAS 75254  
CONTACT: DARREL AMEN ~ 972-702-8699

ENGINEER

 **DOWDEY, ANDERSON & ASSOCIATES, INC.**  
5225 Village Creek Drive, Suite 200 Plano, Texas 75093 972-931-0694  
STATE REGISTRATION NUMBER: F-399  
SURVEY FIRM REGISTRATION NUMBER: 10077800

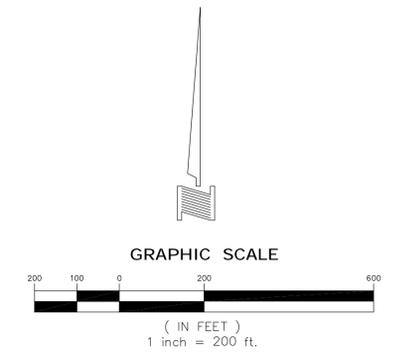
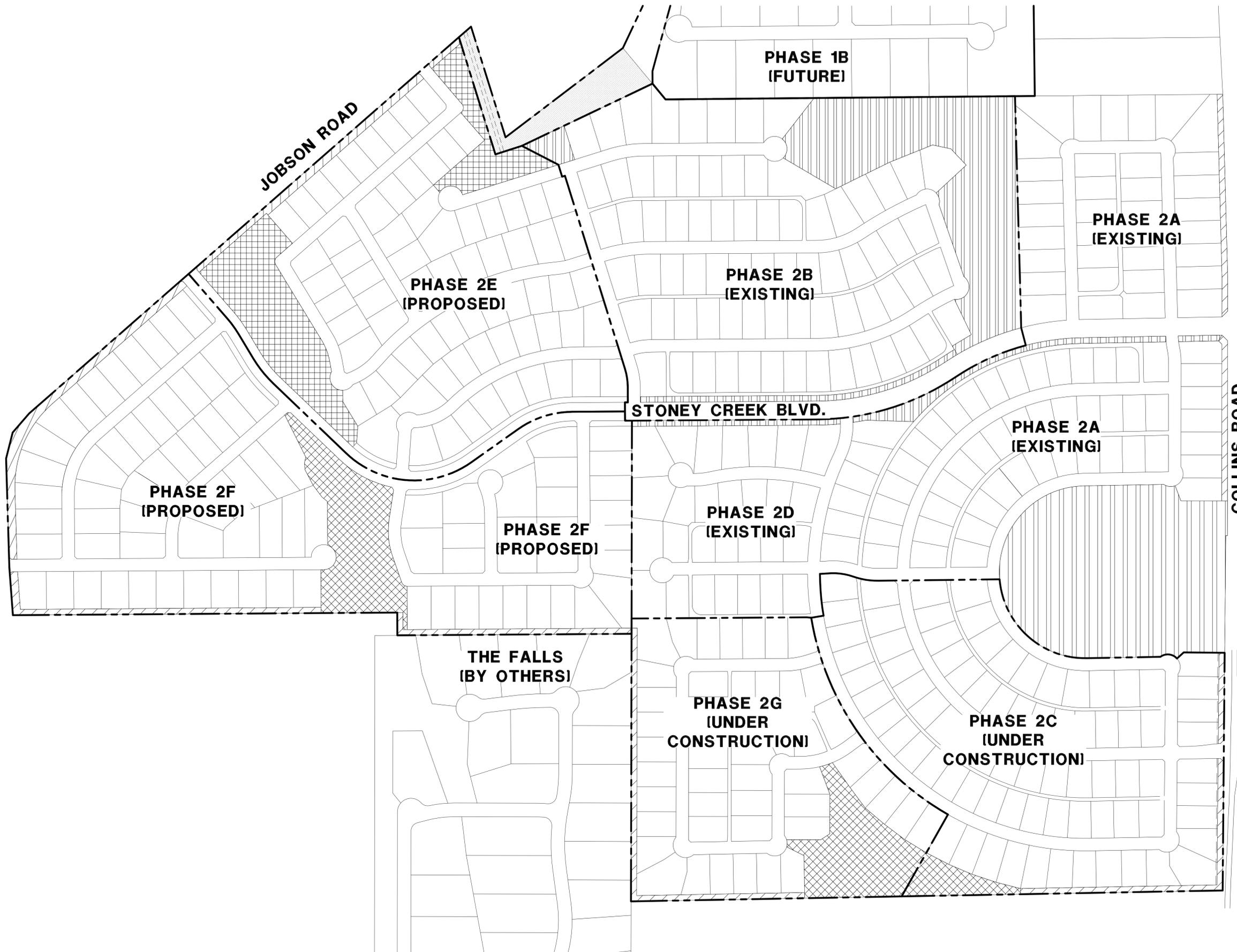
\*NOTICE:  
SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF  
CITY SUBDIVISION ORDINANCE AND STATE PLATTING STATUTES AND IS SUBJECT TO  
FINES AND WITHHOLDING OF UTILITIES AND BUILDING CERTIFICATES\*

COUNTY CLERK INST. NO.

2 OF 2

12014-2G

REVISED:



**TRACT 2**

	OPEN SPACE REQUIREMENT	=	45.64 ACRES
	OPEN SPACE PROVIDED	=	50.99 ACRES
	LANDSCAPE BUFFER REQUIREMENT	=	6.35 ACRES
	LANDSCAPE BUFFER PROVIDED	=	7.09 ACRES

- 1. PREVIOUSLY PLATTED AS OPEN SPACE, LANDSCAPE, DRAINAGE AND UTILITY EASEMENTS.  
2. AREAS COUNTED IN OPEN SPACE CALCULATIONS ONLY.
- 1. AREAS TO BE PLATTED AS OPEN SPACE, LANDSCAPE, DRAINAGE AND UTILITY EASEMENTS.  
2. AREAS COUNTED IN OPEN SPACE CALCULATIONS ONLY.
- 1. AREAS PREVIOUSLY PLATTED AND TO BE PLATTED AS OPEN SPACE, LANDSCAPE, DRAINAGE AND UTILITY EASEMENTS.  
2. AREAS COUNTED IN LANDSCAPE BUFFER CALCULATIONS ONLY.
- 1. AREA PREVIOUSLY PLATTED AS A NON-BUILDABLE LOT SATISFYING STONEY CREEKS OBLIGATIONS FOR OPEN SPACE AND LANDSCAPE BUFFERS ALONG THE COMMON PROPERTY LINES. THIS AREA IS BEING SOLD TO THE CROWNOVER FAMILY.  
2. AREA COUNTED IN OPEN SPACE CALCULATIONS AS ORIGINALLY CALLED OUT BY P.D. 463 EXHIBIT D.

<b>TRACT 2 OPEN SPACE</b>					
<b>STONEY CREEK</b>					
TOWN OF SUNNYVALE					
DALLAS COUNTY, TEXAS					
<b>DOWDEY, ANDERSON &amp; ASSOCIATES, INC.</b> 5225 Village Creek Drive, Suite 200 Plano, Texas 75093 972-931-0694 <small>STATE REGISTRATION NUMBER: F-399 SURVEY FIRM REGISTRATION NUMBER: 10077800</small>					
DESIGN	DRAWN	CHECKED	DATE	SCALE	JOB
-	-	-	03/14/16	1"=200'	12014
					SHEET
					1

NO.	DATE	BY	REVISION

Y:\12014\12014-02-OPEN SPACE.dwg, TRACT 2, 3/13/2016 3:38:03 PM, cheffrich, Dowdey, Anderson & Associates, Inc., CH



**Notice of Application for Final plat  
Town of Sunnyvale  
Planning & Zoning Commission**

The Town of Sunnyvale has received a request from James Sneed for a final plat approval of the Sneed Addition. The request will allow for the development of a single residence on the subject property. The location of the property, 321 Barnes Bridge Road, is shown on the attached exhibit.

The Planning and Zoning Commission will hear this application on Monday, September 19, 2016 and the Town Council will consider the application on either Monday, September 26, 2016 or Monday, October 10, 2016. The hearings will be conducted in open session at Town Hall, 127 Collins Road at 7:00 P.M. If you have comments on this application, you may present them in person at these meetings or may submit written comments at any time on or before date of the hearings.

The final plat application and supporting documents are on file at Town Hall and may be examined at no charge. For further information contact Rashad Jackson, Director of Development Services at (972) 203-4103 or [rashad.jackson@townofsunnyvale.org](mailto:rashad.jackson@townofsunnyvale.org).

- I am in favor of the final plat  
 I am opposed to the final plat

Explanation:

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Signature:

*J. C. Lupton*

Printed Name:

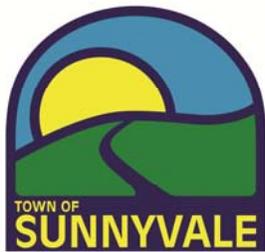
Address:

Date:

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Prepared By: Rashad Jackson, AICP  
Director of Development Services

**Summary:**

**APPLICANT: ANGELA NAVARRO**  
**AT OR ABOUT: 400 S. PASCHALL ROAD**  
**REQUEST: CONDITIONAL USE PERMIT FOR A COMMERCIAL AMUSEMENT USE AND SITE PLAN**

**Background:**

The subject property is located at or about 400 S. Paschall Road. The applicant requests approval of a Conditional Use Permit for a Commercial Amusement use and site plan. The request is for the development of a wedding / event facility. The applicant plans to build a venue for events such as weddings, corporate functions, banquets and reunions. The proposed use is allowed with conditional use approval within a Highway Commercial zoning district. The subject property is 5.4 acres in size.

*Proposed Development Variations:* The applicant has requested variations from our standard development requirements for Highway Commercial development (noted below). Conditional Use Permit applicants may seek variations from standard development requirements per section 24.2 if the zoning ordinance.

Section 24.2 of the zoning ordinance reads as follows:

*24.2.A: Whenever an applicant for a conditional use permit seeks to vary or waive any of the regulations or standards applicable within the zoning district, he shall clearly identify such variation or waiver on the site plan required by this chapter.*

*24.2.B: In order to implement the purposes of this chapter, the Town Council may grant variations or waivers to zoning district standards that have been requested by an applicant and specifically identified in the application, only if it determines that the proposed use is appropriate for the site and that such variations or waivers are necessary to render the use compatible with adjoining land uses and consistent with the purpose of the district in which the use is proposed.*

The applicant has requested a variation to use wood siding as opposed to masonry or hardboard siding as required. Other portions of the building façades are shown to be constructed with stone accents. The applicant's site plan also shows a variation from the standard parking space and drive aisle paving regulations. The plans propose crushed granite for standard parking spaces and interior drive aisles as opposed to concrete. Only the fire lanes and accessible parking spaces will be constructed out of concrete.

*Required Highway Commercial (HC) Development Standards:*

*Section 20.8.A.2.c  
Non-residential - HC District*

*(1) Exterior walls of all structures shall have at least 90% masonry coverage on all four building sides. Stucco type masonry shall be limited to 40% of required masonry area façade (max %10 stucco in Design Overlay). Colors for stucco type masonry shall be selected from the recommended earth tone palette provided in the Town of Sunnyvale Design Criteria Manual. The use and coverage percentage of Hardiboard type masonry shall be considered only on a specific case basis.*

*(2) Plain haydite or concrete block outside walls must be veneered with another decorative masonry material. Masonry shall be brick or stone. Glass block and glass curtain walls are acceptable materials but they shall not exceed 50 percent of the area of any wall.*

*(3) No exterior walls of any buildings shall be constructed of wood or corrugated metal.*

*Section 19.15 Parking Regulations*

*All parking spaces and access thereto shall be constructed with a minimum of five (5) inches of reinforced concrete material, except that areas designated for fire lanes shall be constructed with a minimum of six (6) inches of reinforced concrete material, and providing a low maintenance surface on any and all parking areas.*

*US Hwy 80 Design Overlay District:* The proposed site lies within the US Hwy 80 Design Overlay District. The intent of the overlay district is to provide design standards for developments that incorporate large anchors and commercial / retail centers, maintain a consistent landscape treatment throughout the corridor, incorporate natural tree groves and provide standards that encourage pad sites and specialty users to orient around main streets, pedestrian walks or town greens.

Staff notes that the purpose of the overlay design criteria, other than the landscape requirements, does not necessarily apply to the applicants proposed development. The design overlay development standards are intended to guide big box retail development along the highway corridor. The applicant's proposal is site specific and is not designed as a large commercial / retail use. The proposed site is heavy wooded location near a flood plain and typically would not be considered a prime location for a big box retailer or shopping center development.

Plans show a two-story barn building with wood board batten facade and one main entry. A multi-purpose studio building is shown directly east of the main assembly building. Details of the design are as follows:

- **BUILDING HEIGHT:** Two-story assembly building with hip style roof. One-story multi-purpose studio building with hip style roof.
- **ACCESS:** Access will also be along the S. Paschall Road right of way. The main entry will face Paschall Road. The service entrance and trash pickup will be on the west side of the main assembly building.
- **BUILDING EXTERIOR / FACADE:** The main assembly building exterior will be clad primarily in wood. The multi-purpose building will be clad with wood and stone accents.

- **OFF-STREET PARKING:** Required parking shall be 1 space per 100 sq.ft. (116 spaces). The applicant has submitted plans meeting this requirement. The parking will accommodate the proposed use. Variations have been request for the proposed crushed granite parking material. All fire lanes and accessible parking spaces will be constructed out of concrete.
- **SITE FURNISHINGS & LIGHTING** - Primary circulation routes within development sites shall utilize decorative light fixtures such as the Oncor approved Hanover Eurotique series style light or an approved equivalent. The lights within parking lots and pedestrian areas should be from a consistent family of fixtures for a uniform appearance within each development. The applicant's plans do not shown proposed lighting at this time. A lighting plan, in accordance with Section 20.6.F of the zoning ordinance, will be required prior to construction
- **PARKING LOT / INTERIOR SITE LANDSCAPE:** Design guidelines require parking areas to be screened. All parking lot screening shall be maintained at least thirty six inches (36") in height. Berming, planting screens or low profile walls are allowed per design criteria standards. The applicant has proposed the use of berms along the US 80 corridor. Additional details for the interior site plantings will be required prior to construction (plating stage). A detailed tree survey / landscape plan will be required.
- **US HWY 80 CORRIDOR LANDSCAPE BUFFER:** The overlay design criteria require the use of naturalistic landscape berms and plantings along the US Hwy 80 corridor landscape. (Example shown below) The applicants design appears to meet the intent of the design regulation. Plans show the use of existing natural vegetation and the installation of landscape berms along the right of way.



### Public Notice

Notice was published within the Town's Official Newspaper on August 31<sup>st</sup>. Letters were also provided to surrounding properties meeting the distance requirements as provided within the Ordinance. Thirty-One (31) letters were sent. As of the writing of this staff memo, no letters had been returned either in favor or in opposition of the request.

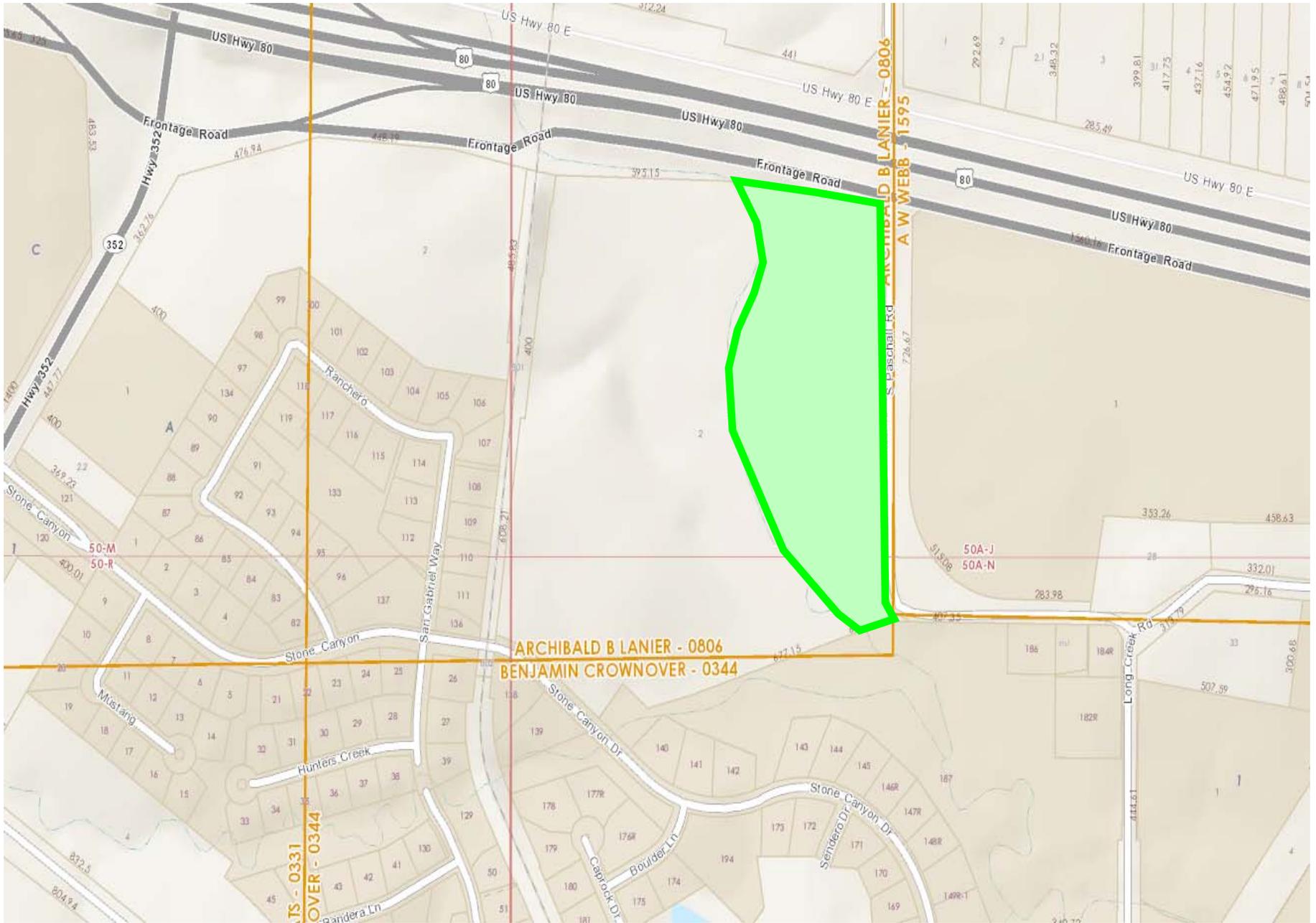
### Staff Recommendation

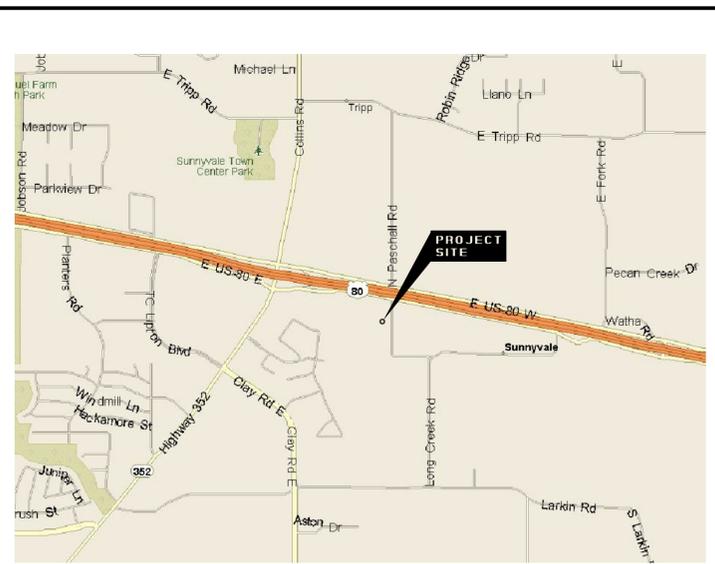
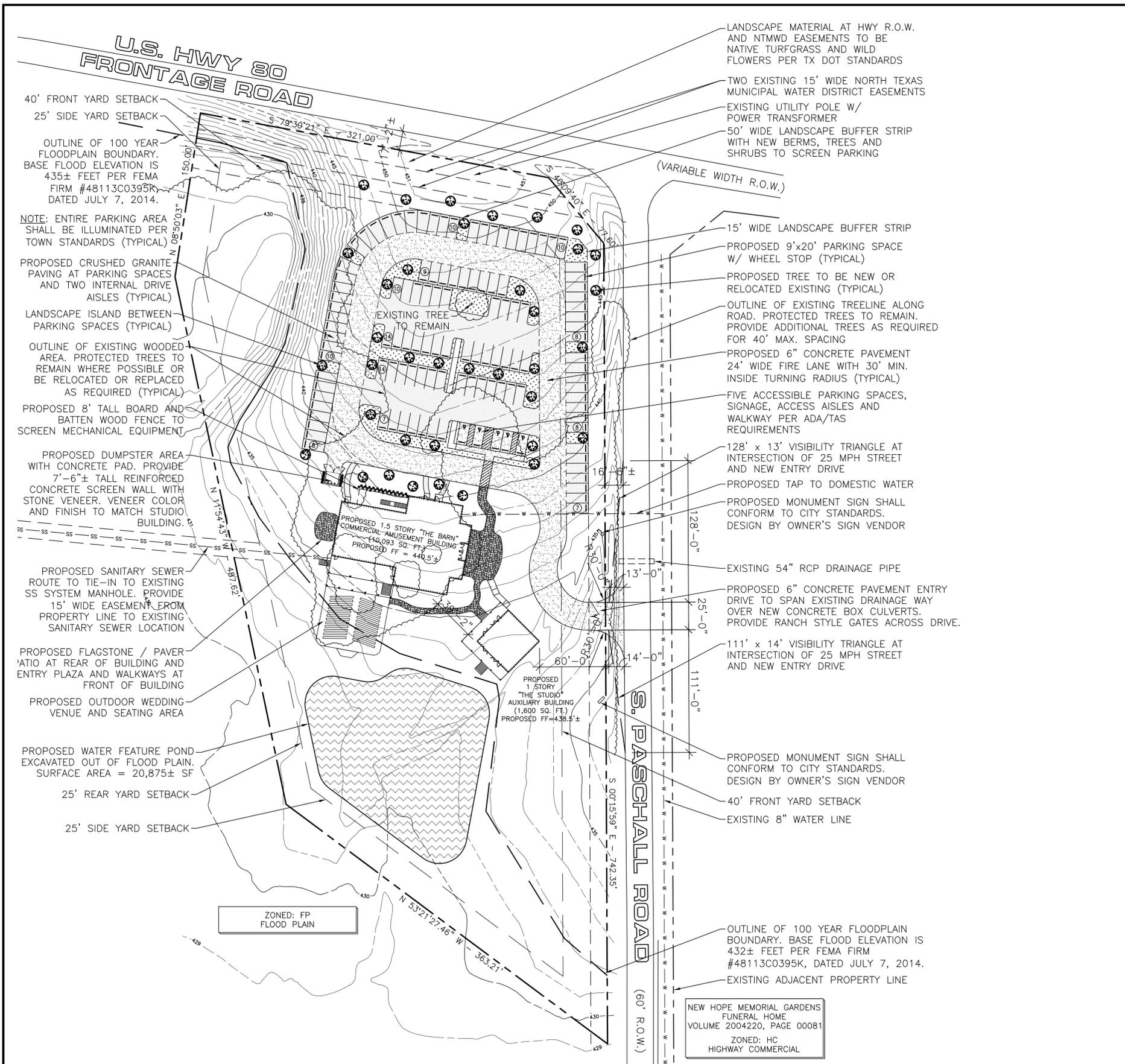
Town staff has the following comments/recommendation for consideration:

1. Town staff recommends approval of the conditional use permit and site plan without a crushed granite parking space / aisle variation. Staff understands the intent of the variation request, but does not see a valid reason for the development not to not adhere to the concrete requirement.
2. Approval is contingent to all Town comments being satisfactorily addressed prior to construction.
3. A plat will be required prior to construction.

**Attachments**

- Location Map
- Proposed Site Plan Exhibits
- Business Proposal / Details - submitted by applicant
- Notice Response Letters





**1 VICINITY MAP**  
SCALE: N.T.S.

**SITE AND BUILDING DATA**

**SITE DATA**  
ZONING: HC HIGHWAY COMMERCIAL with HWY 80 OVERLAY  
TOTAL EXISTING SITE AREA = 5.413 ac. = 235,800 s.f.  
F.A.R. = 5.0%

**BUILDING DATA**  
**MAIN BUILDING - THE BARN**  
ENCLOSED GROUND FLOOR BUILDING AREA = 7,600 s.f.  
ENCLOSED MEZZANINE FLOOR BUILDING AREA = 2,493 s.f.  
ENCLOSED BUILDING AREA TOTAL = 10,093 s.f.  
PROPOSED CONSTRUCTION TYPE: Type VA (11,500 s.f. allowed)  
FULL FIRE SPRINKLER SYSTEM TO BE PROVIDED IN 'THE BARN'.  
HEIGHT OF STRUCTURE: 1.5 STORY = 37'-7"± TO ROOF RIDGE.

**AUXILIARY BUILDING - THE STUDIO**  
ENCLOSED BUILDING AREA = 1,600 s.f.  
PROPOSED CONSTRUCTION TYPE: Type VB (6,000 s.f. allowed)  
FIRE SPRINKLER SYSTEM WILL NOT BE PROVIDED.  
HEIGHT OF STRUCTURE: 1.0 STORY = 20'-7"± TO ROOF RIDGE.

**PARKING DATA**  
PARKING REQUIRED BY BUILDING AREA = 101 spaces  
PARKING REQUIRED BY DESIGN CRITERIA = 116 spaces  
PARKING PROVIDED (INCLUDING ADA SPACE) = 120 spaces  
ACCESSIBLE PARKING REQUIRED = 5 spaces  
ACCESSIBLE PARKING PROVIDED = 5 spaces

**LANDSCAPE DATA**

**REQUIREMENTS:**

- 50 FOOT WIDE LANDSCAPE BUFFER STRIP ALONG U.S. HWY 80.
- 15 FOOT WIDE LANDSCAPE BUFFER STRIP ALONG PASCHALL ROAD.
- 10 FOOT WIDE LANDSCAPE BUFFER STRIP BETWEEN BUILDING AND DRIVE.
- LANDSCAPE BUFFER STRIP REQUIRES TREES AT 40 FOOT MAX. CENTERS.
- PARKING SPACES TO BE WITHIN 100 FEET OF LANDSCAPE AREA W/ TREE.

**COMMENTS:**

- 50 FOOT WIDE LANDSCAPE BUFFER STRIP PROVIDED.
- 15 FOOT WIDE LANDSCAPE BUFFER STRIP PROVIDED.
- 20 FOOT WIDE LANDSCAPE BUFFER STRIP PROVIDED AT BUILDING.
- ANY PROTECTED SIZE TREES SHALL REMAIN WHERE POSSIBLE. SUITABLE TREES SHALL BE RELOCATED TO MEET NEW TREE REQUIREMENTS WHERE FEASIBLE. IF NECESSARY, REMOVED TREES SHALL BE REPLACED.

**CALCULATIONS - LANDSCAPE AREA AT PARKING:**

TOTAL PARKING SPACES PROVIDED =	120
TOTAL LANDSCAPE AREA REQUIRED (16 SF PER SPACE) =	1,920 s.f.
TOTAL LANDSCAPE AREA PROVIDED WITHIN PARKING =	7,649 s.f.

**1 OVERALL SITE PLAN**  
SCALE (22" x 34"): 1" = 50'-0"  
SCALE (11" x 17"): 1" = 100'-0"

NOTE:  
REFER TO SHEET CSP-5 FOR ENLARGED PARTIAL SITE PLAN.

**Owner:**  
**Paul Cash**  
190 S. Collins, #102  
Sunnyvale, TX 75182  
Phone: 214.460.3464

**Applicant:**  
**Angela Navarro**  
5101 Alexandria Dr.  
Rowlett, TX 75088  
Phone: 214.354.0834

**Architect:**  
**John W. Robinson**  
2724 Hyacinth Dr.  
Mesquite, TX 75181  
Phone: 214.709.7016

New Wedding / Banquet Facility  
**The BARN at LONG CREEK**  
400 S. PASCHALL ROAD  
SUNNYVALE, TEXAS 75182



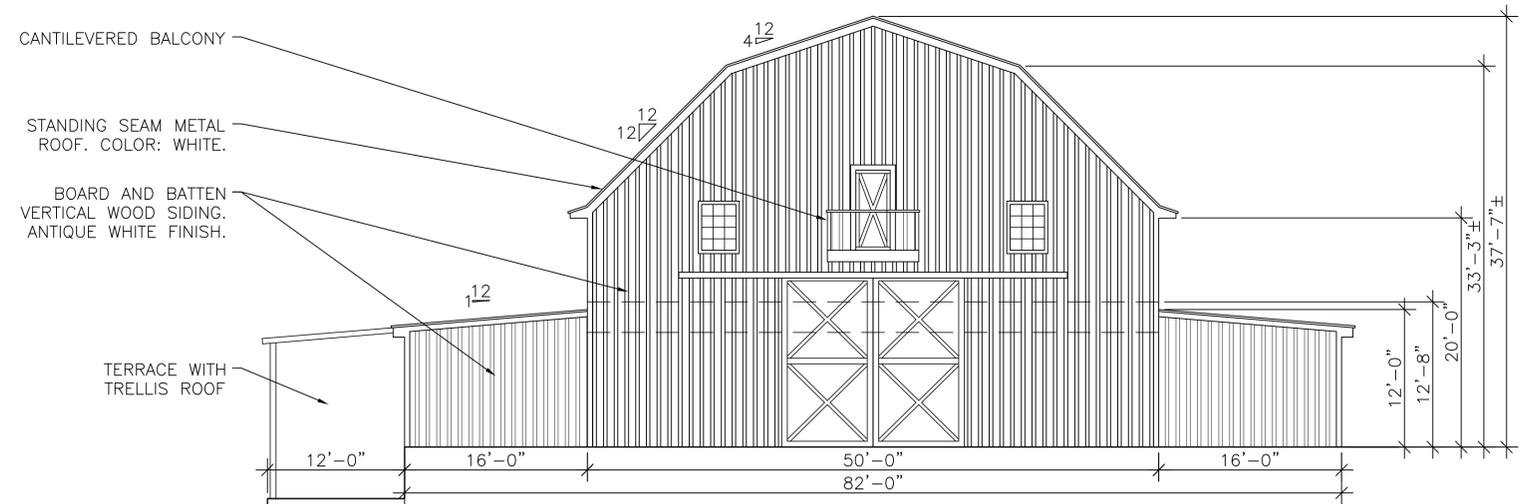
9/9/16  
CHECKED BY: JWR  
ISSUE DATE: 08/24/2016  
REVISIONS:  
9/09/16 REV PER CITY COMMENTS

CONCEPT  
SITE PLAN  
DRAWINGS

SITE PLAN

SHEET NO:  
**CSP-1**

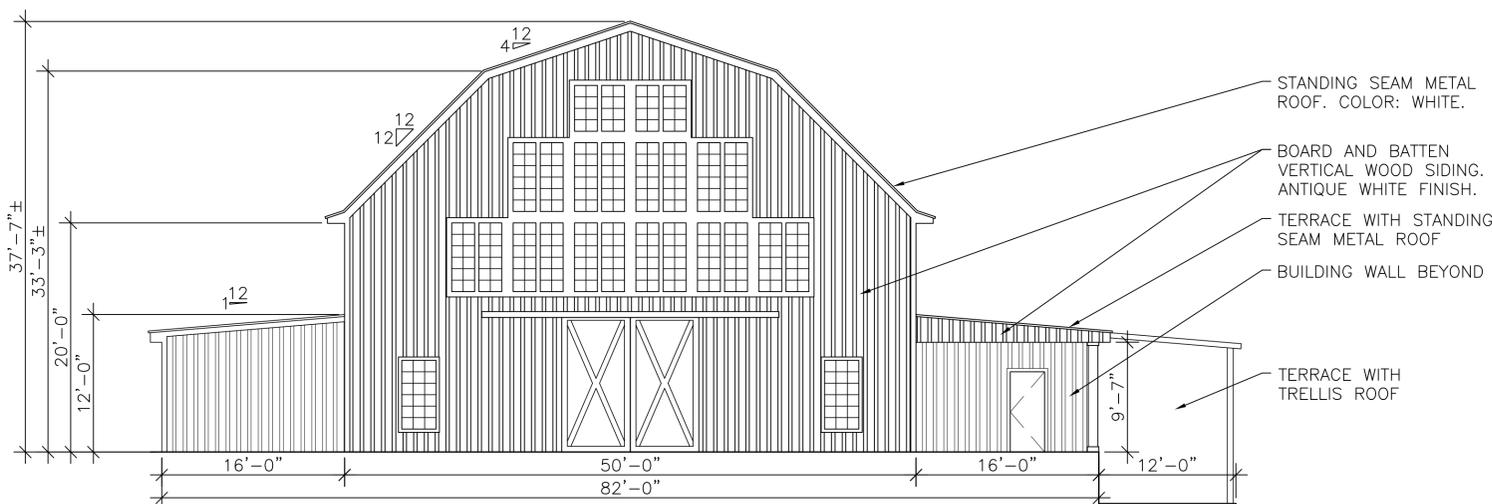
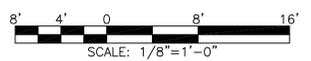
BEING a tract of land situated in the ARCHIBALD LANIER Survey, ABSTRACT No. 806, Town of Sunnyvale, Dallas County, Texas and being a portion of that certain 105.887-acre tract of land conveyed to Paul Cash by Deed recorded in VOLUME 2003093, PAGE 8718, Deed Records, Dallas County, Texas



CANTILEVERED BALCONY  
 STANDING SEAM METAL ROOF. COLOR: WHITE.  
 BOARD AND BATTEN VERTICAL WOOD SIDING. ANTIQUE WHITE FINISH.

TERRACE WITH TRELLIS ROOF

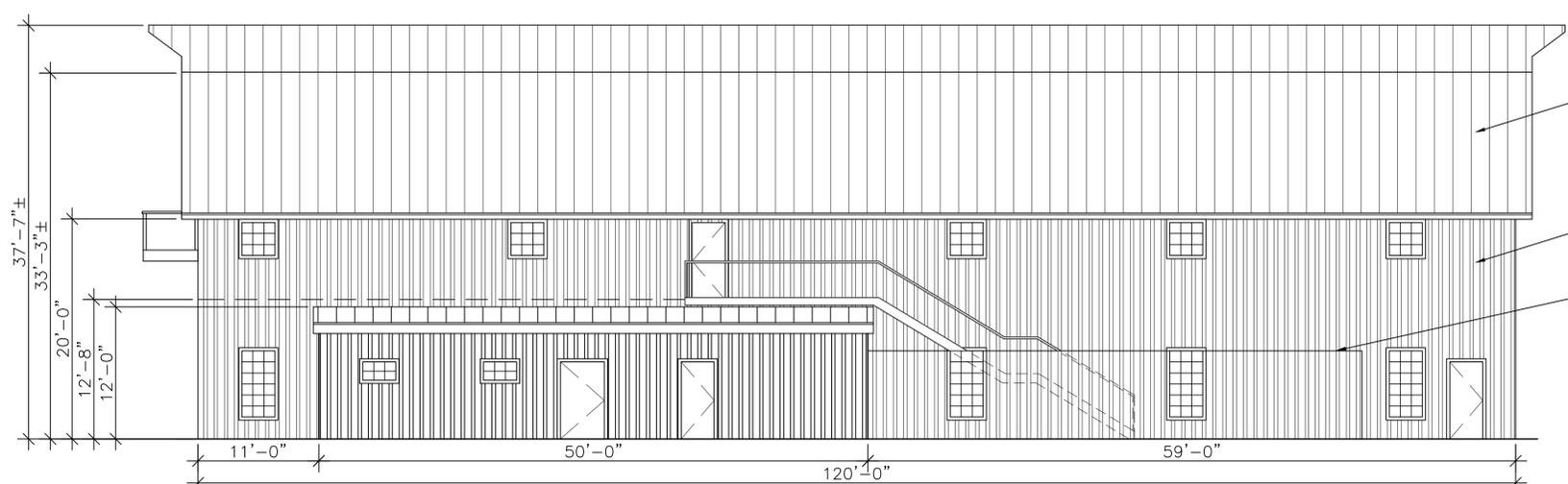
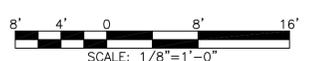
**1 THE BARN - FRONT ELEVATION**  
 SCALE (22" x 34"): 1/8" = 1'-0"  
 SCALE (11" x 17"): 1/16" = 1'-0"



STANDING SEAM METAL ROOF. COLOR: WHITE.  
 BOARD AND BATTEN VERTICAL WOOD SIDING. ANTIQUE WHITE FINISH.  
 TERRACE WITH STANDING SEAM METAL ROOF  
 BUILDING WALL BEYOND

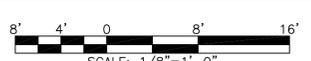
TERRACE WITH TRELLIS ROOF

**2 THE BARN - REAR ELEVATION**  
 SCALE (22" x 34"): 1/8" = 1'-0"  
 SCALE (11" x 17"): 1/16" = 1'-0"



STANDING SEAM METAL ROOF. COLOR: WHITE.  
 BOARD AND BATTEN VERTICAL WOOD SIDING. ANTIQUE WHITE FINISH.  
 OUTLINE OF 8'-0" TALL BOARD AND BATTEN WOOD SCREEN FENCE. FINISH TO MATCH BUILDING.

**3 THE BARN - SIDE ELEVATION**  
 SCALE (22" x 34"): 1/8" = 1'-0"  
 SCALE (11" x 17"): 1/16" = 1'-0"



**Owner:**  
**Paul Cash**  
 190 S. Collins, #102  
 Sunnyvale, TX 75182  
 Phone: 214.460.3464

**Applicant:**  
**Angela Navarro**  
 501 Alexandria Dr.  
 Rowlett, TX 75088  
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New Wedding / Banquet Facility  
**The BARN at LONG CREEK**  
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9/9/16

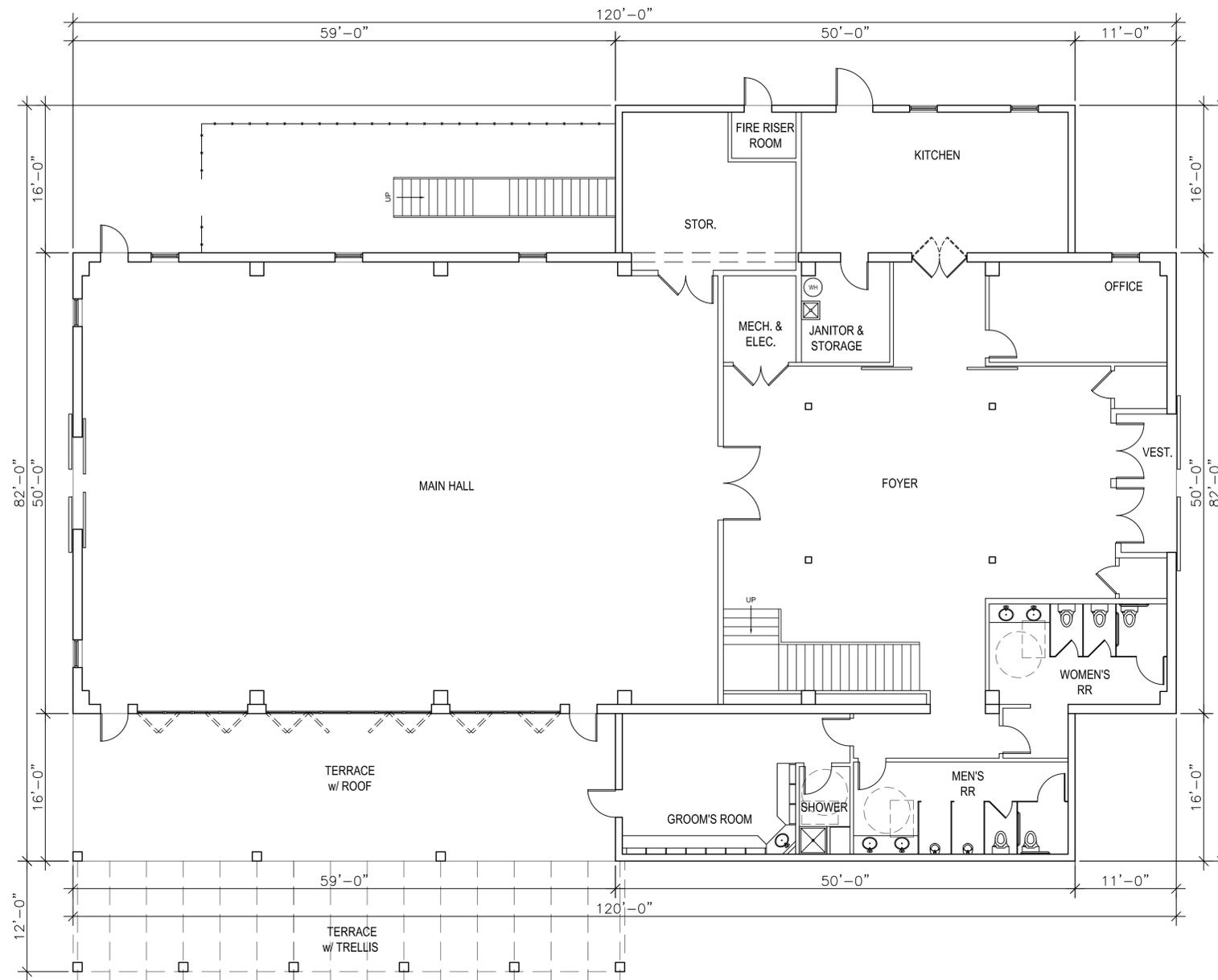
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CONCEPT  
 SITE PLAN  
 DRAWINGS

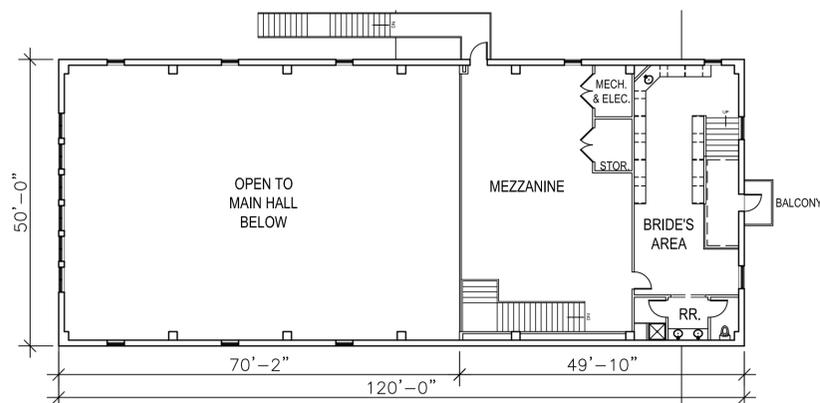
BUILDING  
 ELEVATIONS

SHEET NO:  
**CSP-2**

BEING a tract of land situated in the ARCHIBALD LANIER Survey, ABSTRACT No. 806, Town of Sunnyvale, Dallas County, Texas and being a portion of that certain 105.887-acre tract of land conveyed to Paul Cash by Deed recorded in VOLUME 2003093, PAGE 8718, Deed Records, Dallas County, Texas



**1 THE BARN - PRELIM GROUND FLOOR PLAN**  
 SCALE (22" x 34"): 1/8" = 1'-0"  
 SCALE (11" x 17"): 1/16" = 1'-0"



**2 THE BARN - PRELIM MEZZANINE FLOOR PLAN**  
 SCALE (22" x 34"): 1/16" = 1'-0"  
 SCALE (11" x 17"): 1/32" = 1'-0"



**Owner:**  
**Paul Cash**  
 190 S. Collins, #102  
 Sunnyvale, TX 75182  
 Phone: 214.460.3464

**Applicant:**  
**Angela Navarro**  
 501 Alexandria Dr.  
 Rowlett, TX 75088  
 Phone: 214.354.0834

**Architect:**  
**John W. Robinson**  
 2724 Hyacinth Dr.  
 Mesquite, TX 75181  
 Phone: 214.709.7016

New Wedding / Banquet Facility  
**The BARN at LONG CREEK**  
 400 S. PASCHALL ROAD  
 SUNNYVALE, TEXAS 75182



9/9/16

CHECKED BY: JWR

ISSUE DATE: 08/24/2016

REVISIONS:

9/09/16 REV PER CITY COMMENTS

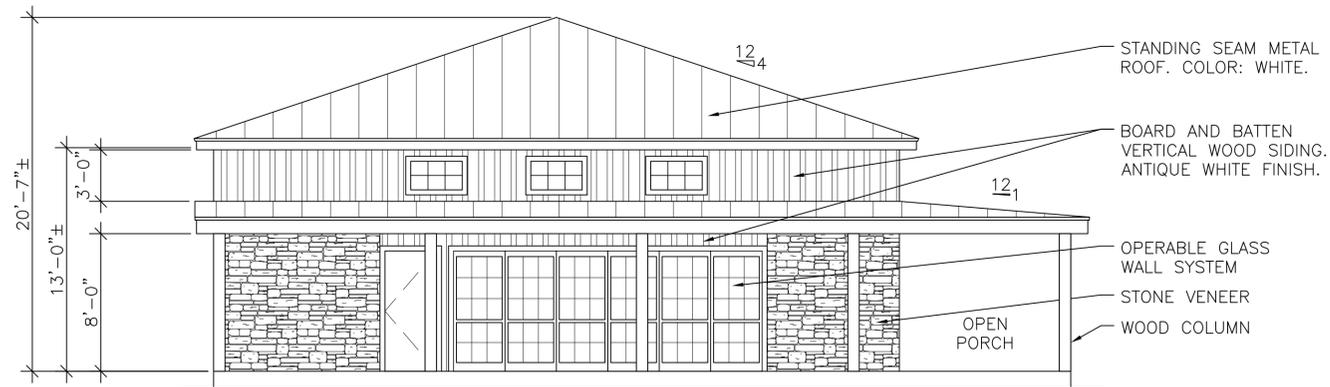
CONCEPT  
 SITE PLAN  
 DRAWINGS

BUILDING  
 FLOOR PLANS

SHEET NO:

**CSP-3**

BEING a tract of land situated in the ARCHIBALD LANIER Survey, ABSTRACT No. 806, Town of Sunnyvale, Dallas County, Texas and being a portion of that certain 105.887-acre tract of land conveyed to Paul Cash by Deed recorded in VOLUME 2003093, PAGE 8718, Deed Records, Dallas County, Texas



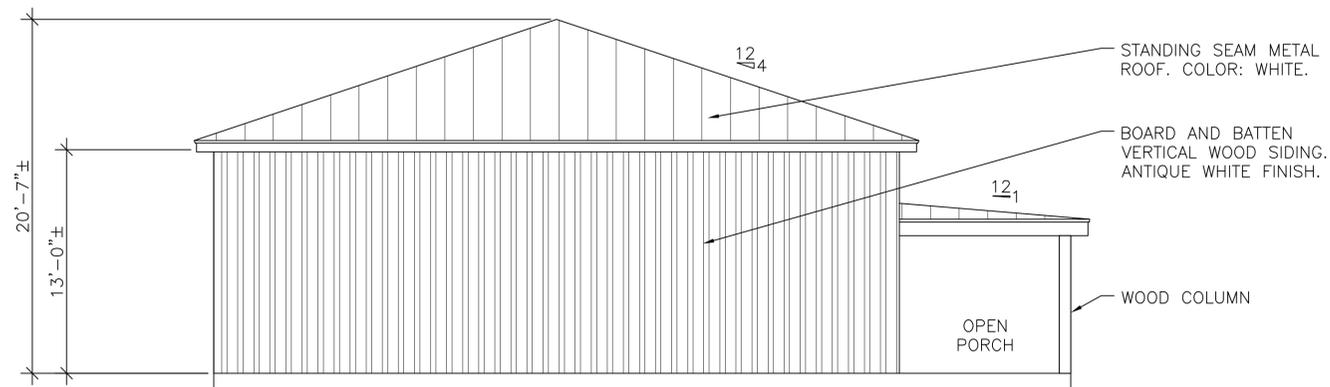
**1 THE STUDIO - FRONT ELEVATION**

SCALE (22" x 34"): 3/16" = 1'-0"  
SCALE (11" x 17"): 3/32" = 1'-0"



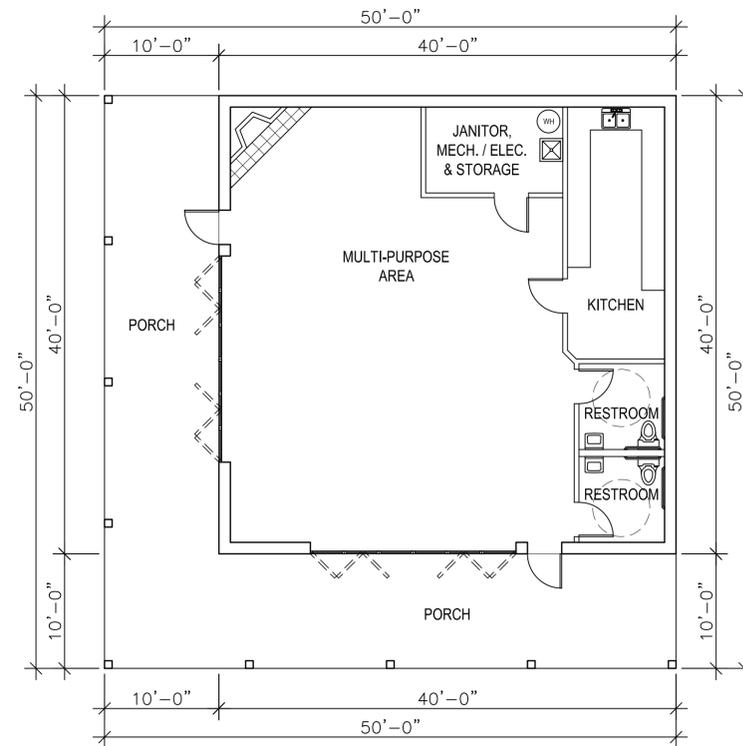
**2 THE STUDIO - SIDE ELEVATION**

SCALE (22" x 34"): 3/16" = 1'-0"  
SCALE (11" x 17"): 3/32" = 1'-0"



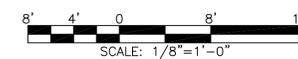
**3 THE STUDIO - SIDE ELEVATION**

SCALE (22" x 34"): 3/16" = 1'-0"  
SCALE (11" x 17"): 3/32" = 1'-0"



**4 THE STUDIO - PRELIM FLOOR PLAN**

SCALE (22" x 34"): 1/8" = 1'-0"  
SCALE (11" x 17"): 1/16" = 1'-0"



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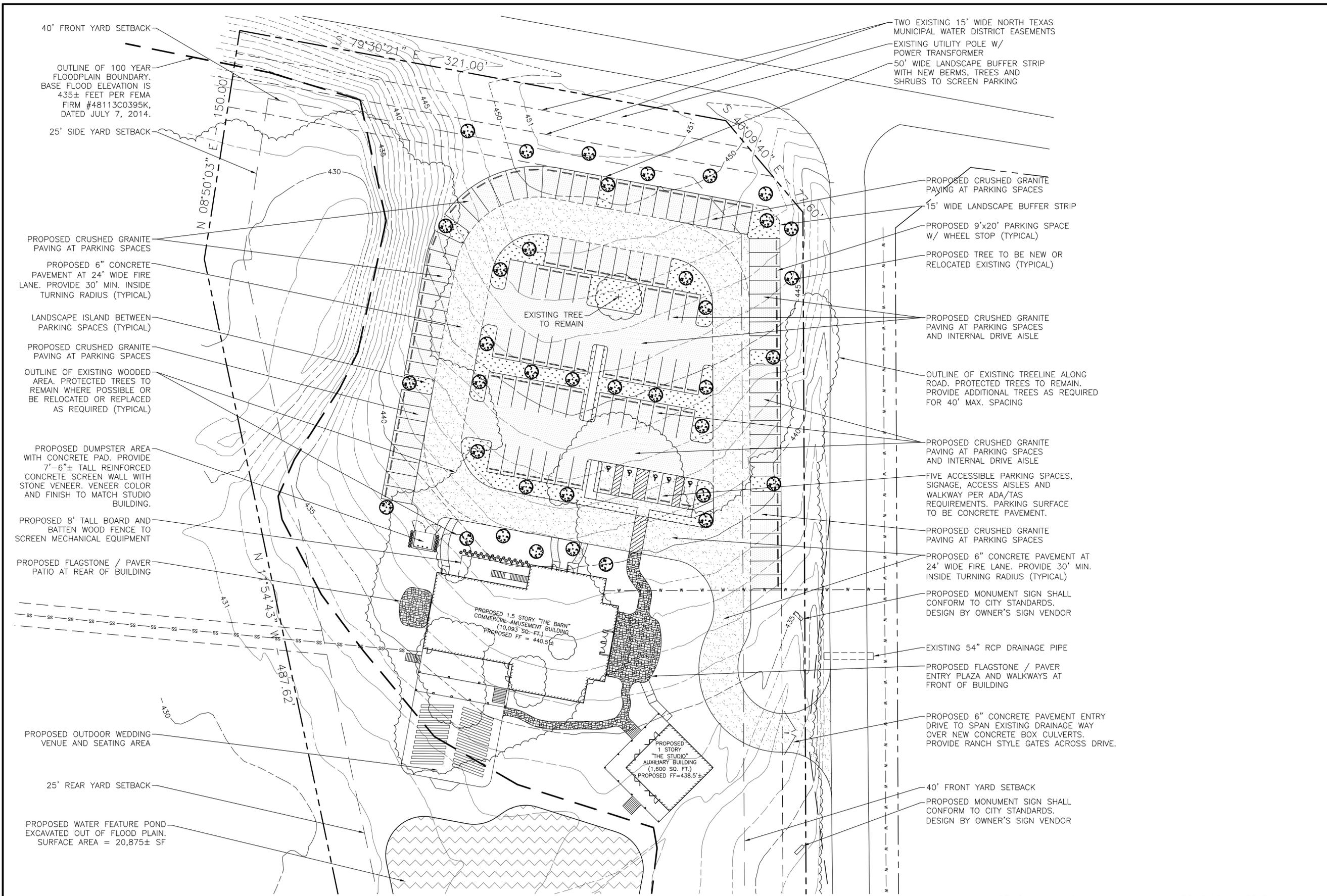
CONCEPT  
SITE PLAN  
DRAWINGS

BUILDING  
ELEVATIONS

SHEET NO:

**CSP-4**

BEING a tract of land situated in the ARCHIBALD LANIER Survey, ABSTRACT No. 806, Town of Sunnyvale, Dallas County, Texas and being a portion of that certain 105.887-acre tract of land conveyed to Paul Cash by Deed recorded in VOLUME 2003093, PAGE 8718, Deed Records, Dallas County, Texas



40' FRONT YARD SETBACK

OUTLINE OF 100 YEAR FLOODPLAIN BOUNDARY. BASE FLOOD ELEVATION IS 435± FEET PER FEMA FIRM #48113C0395K, DATED JULY 7, 2014.

25' SIDE YARD SETBACK

PROPOSED CRUSHED GRANITE PAVING AT PARKING SPACES

PROPOSED 6" CONCRETE PAVEMENT AT 24' WIDE FIRE LANE. PROVIDE 30' MIN. INSIDE TURNING RADIUS (TYPICAL)

LANDSCAPE ISLAND BETWEEN PARKING SPACES (TYPICAL)

PROPOSED CRUSHED GRANITE PAVING AT PARKING SPACES

OUTLINE OF EXISTING WOODED AREA. PROTECTED TREES TO REMAIN WHERE POSSIBLE OR BE RELOCATED OR REPLACED AS REQUIRED (TYPICAL)

PROPOSED DUMPSTER AREA WITH CONCRETE PAD. PROVIDE 7'-6"± TALL REINFORCED CONCRETE SCREEN WALL WITH STONE VENEER. VENEER COLOR AND FINISH TO MATCH BUILDING.

PROPOSED 8' TALL BOARD AND BATTEN WOOD FENCE TO SCREEN MECHANICAL EQUIPMENT

PROPOSED FLAGSTONE / PAVER PATIO AT REAR OF BUILDING

PROPOSED OUTDOOR WEDDING VENUE AND SEATING AREA

25' REAR YARD SETBACK

PROPOSED WATER FEATURE POND EXCAVATED OUT OF FLOOD PLAIN. SURFACE AREA = 20,875± SF

TWO EXISTING 15' WIDE NORTH TEXAS MUNICIPAL WATER DISTRICT EASEMENTS

EXISTING UTILITY POLE W/ POWER TRANSFORMER

50' WIDE LANDSCAPE BUFFER STRIP WITH NEW BERMS, TREES AND SHRUBS TO SCREEN PARKING

PROPOSED CRUSHED GRANITE PAVING AT PARKING SPACES

15' WIDE LANDSCAPE BUFFER STRIP

PROPOSED 9'x20' PARKING SPACE W/ WHEEL STOP (TYPICAL)

PROPOSED TREE TO BE NEW OR RELOCATED EXISTING (TYPICAL)

PROPOSED CRUSHED GRANITE PAVING AT PARKING SPACES AND INTERNAL DRIVE AISLE

OUTLINE OF EXISTING TREELINE ALONG ROAD. PROTECTED TREES TO REMAIN. PROVIDE ADDITIONAL TREES AS REQUIRED FOR 40' MAX. SPACING

PROPOSED CRUSHED GRANITE PAVING AT PARKING SPACES AND INTERNAL DRIVE AISLE

FIVE ACCESSIBLE PARKING SPACES, SIGNAGE, ACCESS AISLES AND WALKWAY PER ADA/TAS REQUIREMENTS. PARKING SURFACE TO BE CONCRETE PAVEMENT.

PROPOSED CRUSHED GRANITE PAVING AT PARKING SPACES

PROPOSED 6" CONCRETE PAVEMENT AT 24' WIDE FIRE LANE. PROVIDE 30' MIN. INSIDE TURNING RADIUS (TYPICAL)

PROPOSED MONUMENT SIGN SHALL CONFORM TO CITY STANDARDS. DESIGN BY OWNER'S SIGN VENDOR

EXISTING 54" RCP DRAINAGE PIPE

PROPOSED FLAGSTONE / PAVER ENTRY PLAZA AND WALKWAYS AT FRONT OF BUILDING

PROPOSED 6" CONCRETE PAVEMENT ENTRY DRIVE TO SPAN EXISTING DRAINAGE WAY OVER NEW CONCRETE BOX CULVERTS. PROVIDE RANCH STYLE GATES ACROSS DRIVE.

40' FRONT YARD SETBACK

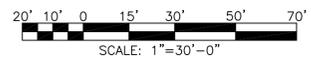
PROPOSED MONUMENT SIGN SHALL CONFORM TO CITY STANDARDS. DESIGN BY OWNER'S SIGN VENDOR

PROPOSED 1.5 STORY "THE BARN" COMMERCIAL AMUSEMENT BUILDING (10,093 SQ. FT.) PROPOSED FF = 440.5±

PROPOSED 1 STORY "THE STUDIO" AUXILIARY BUILDING (1,600 SQ. FT.) PROPOSED FF = 438.5±



**1 ENLARGED PARTIAL SITE PLAN**  
 SCALE (22" x 34"): 1" = 30'-0"  
 SCALE (11" x 17"): 1" = 60'-0"



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9/9/16  
 CHECKED BY: JWR  
 ISSUE DATE: 08/24/2016  
 REVISIONS:  
 1 9/09/16 REV PER CITY COMMENTS

CONCEPT  
 SITE PLAN  
 DRAWINGS

ENLARGED  
 SITE PLAN

SHEET NO:  
**CSP-5**

# THE BARN AT LONG CREEK

- Full Service Wedding Venue
- Onsite Amenities
  - Full Kitchen (Catering & Cakes)
  - Floral Invitations
  - Tables & Chairs (300 people)
- Preferred Vendors
  - Photography
  - D.J.

# THE STUDIO

- Rehearsal Dinners
- Wedding/Bridal Showers
- Parties (Anniversary, Birthday, Graduation, Retirement, Quinceaneras)
- Men's/Women's Group Meetings
- Luncheons (personal & business)
- Florist Prep Space

**\*\*Catering services will be offered for any events**

## General Company Description

The Barn at Long Creek will be a place where weddings are conducted in Sunnyvale, where the dreams of brides will come true. The name was conceived through research that showed that settlers migrated to present-day Sunnyvale in the 1800's and named the hamlet they founded "Long Creek". There is an actual creek that runs beside the property that is appropriately named Long Creek...thus "The Barn at Long Creek" was born. The land chosen will give a quaint, country atmosphere while still offering the close proximity to all city conveniences, including hospitality accommodations for guests. The owner, Angela Navarro, has nearly 30 years of experience in the wedding industry, planning weddings for brides and ensuring catering and cakes match the vision of the bride and groom on their special day. She believes, "an event should be an experience from start to finish," which is the goal of The Barn at Long Creek. Although a new building will be constructed on the property for a reception space, this is not a new business for Mrs. Navarro. In addition to her experience in the industry, she has a proven staff who supports all weddings with years of experience themselves.

The objective of The Barn at Long Creek is to be a thriving, successful wedding venue that is a leader in customer service, ensuring the entire wedding experience for a bride and groom is exceptional. The venue will not just be a partner to brides, it will be an asset to the community; it will be a place to host proms, anniversary parties, painting classes, reunions, corporate events, and other community activities for the city of Sunnyvale. The property will include two structures: The Barn at Long Creek (10,000 square feet) and The Studio (1,000 square feet) to accommodate various event sizes.

Although The Barn at Long Creek will engage in some traditional advertising at a later time, the initial customers will be made up of referrals and long-standing clients of the owner. Because of her extensive experience in the wedding industry, it is anticipated that weddings will be booked prior to opening and before the venue is fully operational.

Many of the competing venues in the Dallas/Ft. Worth metroplex are solely renting a space. The Barn at Long Creek is differentiated because it will be a full service venue, partnering with catering, floral, stationary, and photographers for cohesiveness and overall success of a wedding or event. This is a competitive advantage in the marketplace that does not currently exist. Sunnyvale was chosen as the perfect location for the wedding venue because of its prime position near Dallas and the lack of competition in the area.

The business will be filed as a limited liability corporation (LLC).

## Products and Services

The Barn at Long Creek (10,000 square feet) will be rented for the following rates:

Day	Rental Fee
Weekend Evening (Friday/Saturday)	\$10,000
Weekday Evening (Mon – Thurs, Sun)	\$9,000

### **Rental Fee includes:**

- Indoor/Outdoor Ceremony Space
- The Barn and The Studio Building Rentals
- Tables and Chairs
- Serving Tables
- Standard Linens
- Use of the Bridal Suite with private restrooms and vanities (all day)
- Use of the Groom's Suite with private restrooms and vanities (all day)
- Unlimited use of all indoor and outdoor facilities for engagement photography, bridal photography, and wedding photography
- All audio/visual equipment
- Full catering kitchen
- Wedding Coordinator fees

### **Additional Services Offered (for a fee):**

- Catering
- Wedding Cakes
- Floral Services
- Photography
- Stationary
- Disc Jockey

Service (examples)	Fee
Meal service for 200 guests	\$5,000
Bridal Cake	\$1,000
Groom's Cake	\$700

The Studio (1,000 square feet) may be rented alone for the following rates:

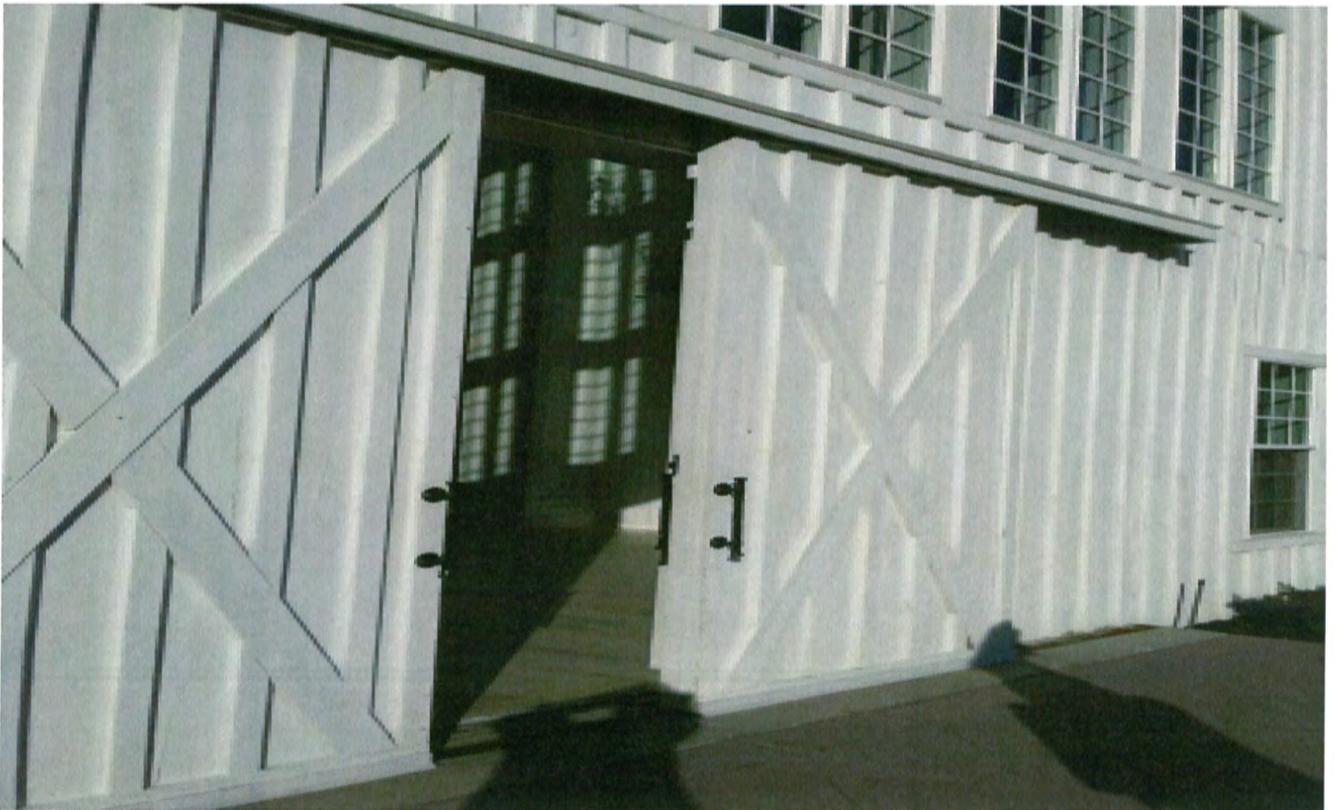
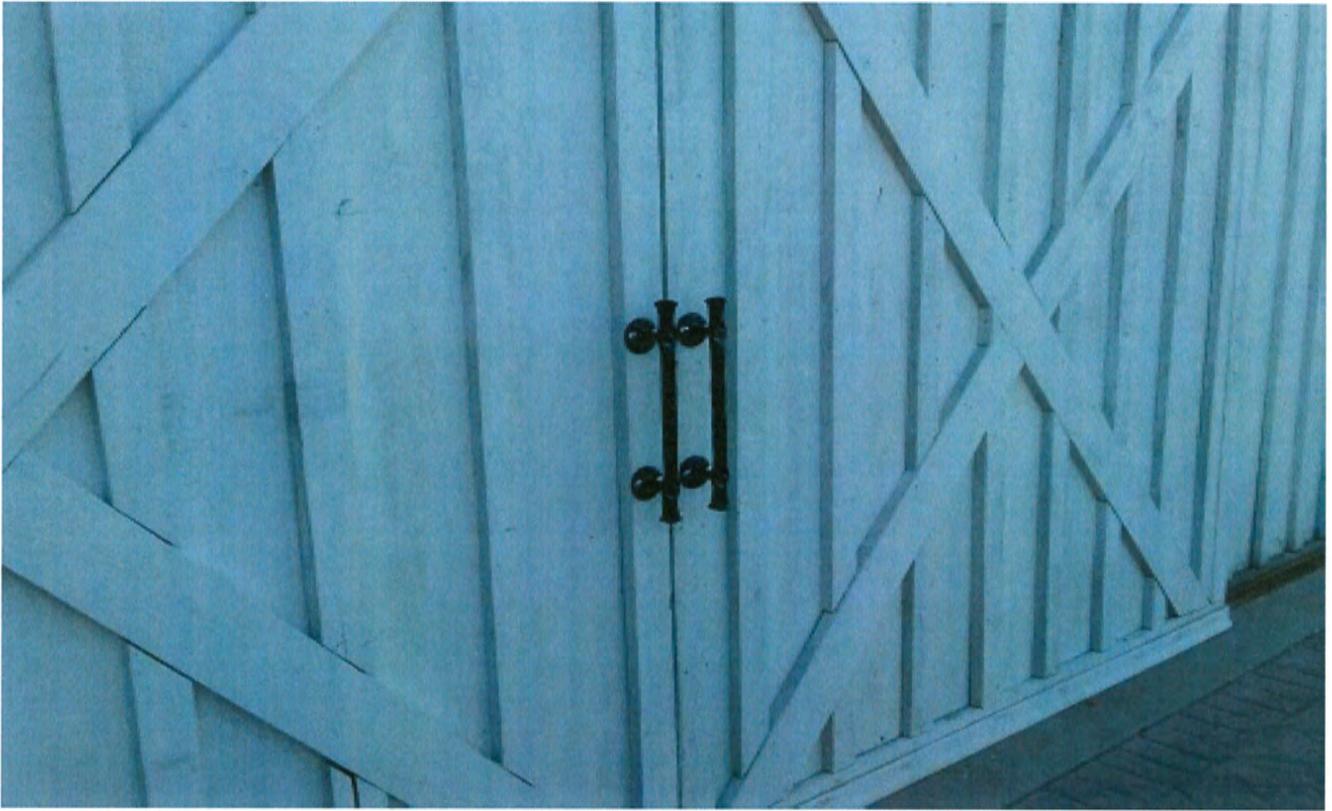
Day	Rental Fee
Weekend Evening (Friday/Saturday)	\$1,000
Weekday Day or Evening (Mon – Thurs, Sun)	\$500

**Rental Fee includes:**

- All outdoor space
- The Studio Building Rental
- Tables and Chairs
- Serving Tables
- Standard Linens
- Unlimited use of all indoor and outdoor facilities for engagement photography, bridal photography, and wedding photography
- Sound system
- Prep kitchen



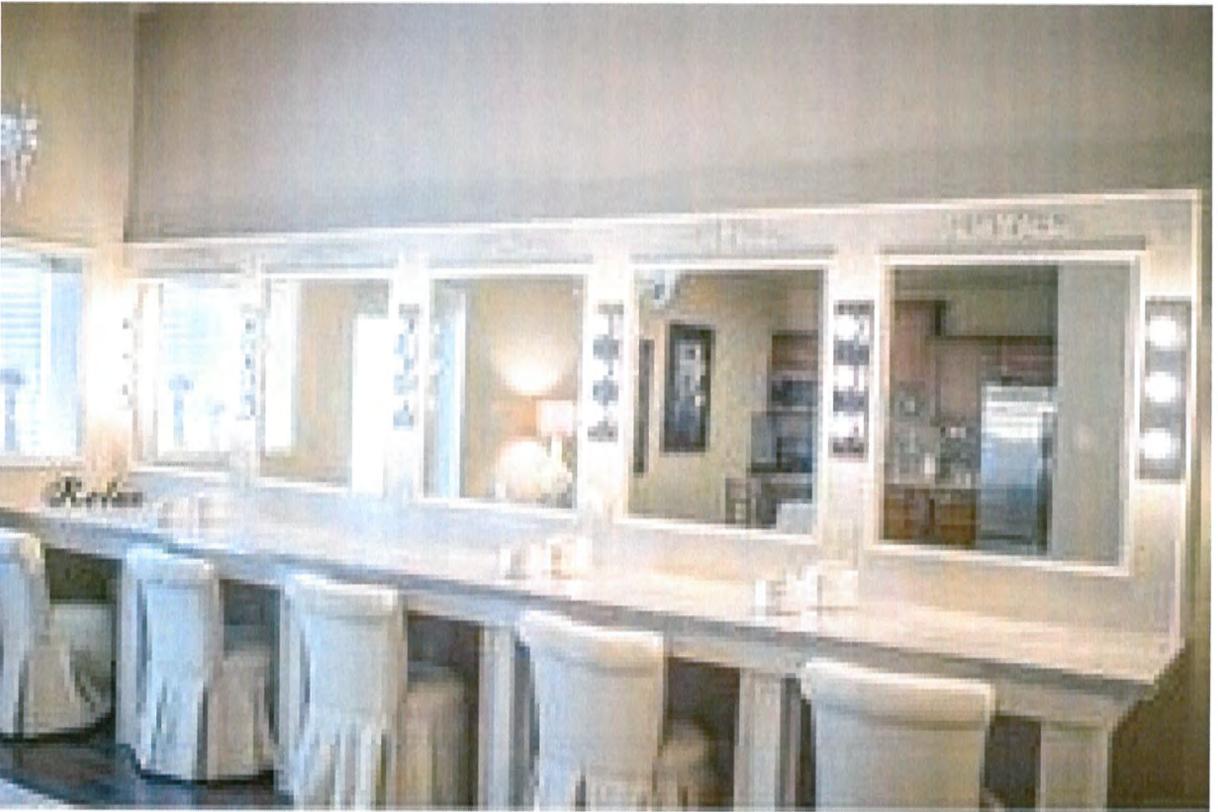
Exterior Material **Wood**



Barn Door Material **Wood**



Interior Material



Bridal Suite



Groom/Man Cave



## Crushed Granite Benefits

Crushed granite is ideally suited for driveway installations for several specific reasons. Some of the benefits to using crushed granite for driveways include:

- **Appearance** – People love working with crushed granite for driveway installations because it's so attractive. Granite has long been recognized for its aesthetic value, and even in crushed form, it maintains its beauty. There are a number of different color families involved in the composition of granite which means that you can select from hues that suit your every whim, or simply enjoy the eclectic mix. Either way, you will end up with a crushed granite driveway that attracts the eye and raises the overall value of your property.
- **Size** – Crushed granite is the perfect size for installing a loose fill driveway. You need stone aggregate that's heavy enough to not be easily blown about by the wind or displaced by vehicular and foot traffic, but small and light enough that it's comfortable to walk on and safe to drive over. In all instances, crushed granite fits the bill.
- **Flexibility/Versatility** – Crushed granite provides homeowners with a lot of flexibility in terms of their driveway design preferences. A key advantage to working with loose fill materials like crushed granite is that it's easy to create interesting shapes. All you have to do is imagine the layout and fill it in with the desired stone aggregate materials. Crushed granite is also great for constructing a unique driveway because of the many different colors available. The colors associate with granite can accentuate other landscaping features and will work well with a wide range of natural edging materials for added beauty.

- **Permeability** – One of the biggest challenges that homeowners face with crushed stone driveways is water damage. After the rain, an improperly installed or maintained driveway may experience flooding, pooling, washouts and even the development of potholes. Fortunately, crushed granite is one of the most permeable driveway surfacing materials on the market. The stones will allow water to naturally percolate back into the ground water supply so that your driveway will still continue to look and function perfectly – even after a major storm.
- **Durability** – Crushed granite is extremely tough, durable and long lasting. Even after years of exposure to high volumes of vehicular and foot traffic, you'll find that your crushed granite is still working just as it originally did after first being installed. The natural materials are also able to withstand the impact of the elements. When exposed to the sun, crushed granite will hold its color without fading. It is not prone to shifting, cracking or suffering from other damages during the harsh winter months, and will hold up against freeze and thaw cycles.
- **Affordability** – A crushed granite driveway is able to add a touch of sophistication to any home without breaking the bank. Crushed granite is extremely affordable. This is because granite is so prevalent in our area and can easily be harvested and manufactured by a reliable stone company.
- **Low Maintenance** – Once installed, it's easy to keep your crushed granite driveway looking spectacular. There isn't a whole lot of maintenance required to keep it in tip-top shape. We recommend that users rake over the surface on a regular basis to remove any leaves, sticks or other debris. This process also helps to keep the surface smooth and even. It's always wise to keep the center of the driveway peaked so that any water will run off to the sides. Every 1-2 years you should also consider applying a fresh layer of crushed granite to the driveway.







**Notice of Application for  
Conditional Use Permit & Site Plan  
Town of Sunnyvale  
Planning & Zoning Commission**

The Town of Sunnyvale has received a request by Angie Navarro for approval of a Conditional Use Permit for a Commercial Amusement use with a related site plan. The request is for the development of a wedding / event facility. The applicant plans to build a venue for events such as weddings, corporate functions, banquets and reunions. The location of the development is shown on the included map and site plan exhibits.

The Planning and Zoning Commission will hear this application on Monday, September 19, 2016 and the Town Council will consider the application on either Monday, September 26, 2016 or Monday, October 10, 2016. The hearings will be conducted in open session at Town Hall, 127 Collins Road at 7:00 P.M. If you have comments on this application, you may present them in person at these meetings or you may submit written comments at any time on or before date of the hearings.

The related application and supporting documents are on file at Town Hall and may be examined at no charge. For further information contact Rashad Jackson, Director of Development Services at (972) 203-4103 or [rashad.jackson@townofsunnyvale.org](mailto:rashad.jackson@townofsunnyvale.org).

I am in favor of the Conditional Use Permit & Site Plan

I am opposed to the Conditional Use Permit & Site Plan

Explanation:

I BELIEVE THE PROPOSED PROJECT IS IN LINE WITH  
EXISTING DEVELOPMENT CODES AND IS A GOOD FIT  
WITH THE LOCATION

Signature:

*Kenneth R. Demko*

Printed Name:

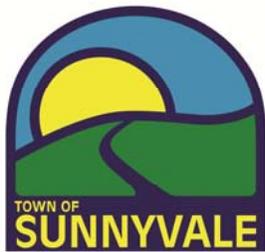
KENNETH R. DEMKO

Address:

448 CAPROCK DRIVE

Date:

9-14-2016



# Town of Sunnyvale

September 19, 2016

Prepared By: Rashad Jackson, AICP  
Director of Development Services

## Summary

**APPLICANT:** JAMES W. BURNETT – DYNAMIC ENGINEERING  
**AT OR ABOUT:** 222 COLLINS ROAD – SOUTH OF NANCE ROAD  
AND EAST OF COLLINS ROAD  
**REQUEST:** SITE PLAN – SUNNYVALE AG BARN (S.I.S.D.)

## Background

The applicant is requesting approval for a site plan in order to construct an Ag Barn for the Sunnyvale Independent School District. The building will be used by FFA students. The subject building is located south on Nance Road and east of Collins Road on the north end of the school site. The property is a part of an overall development for the Sunnyvale Independent School District.

The applicant proposes to construct a 3,000 sq.ft. barn on the northern end of the overall SISD school site. The barn will have a light stone metal exterior. A high steel fence with treated wood will enclose the outer corral areas of the barn. Section 19.1.D.1 of the zoning ordinance allows for the proposed metal exterior for barns in residential zoning that are only used for agricultural purposes. The applicant proposes to construct the parking spaces and surrounding turn around area out of concrete per Town standards.

## Access Drive

An exception has been requested by the applicant to allow for temporary alternative paving (gravel) for the proposed driveway on Nance Road. It is more viable for the school to utilize Nance Road up until Honsel is extended all the way to the east as shown on the Thoroughfare Plan.

Staff found that it is appropriate for SISD to make such a request for an alternative driveway material, as the SISD is seeking this on a temporary basis only. Staff notes that Nance has been identified in various Town documents as being vacated in the future, under the assumption that Honsel is continued all the way to the east per the Town's Thoroughfare Plan. Discussions have been had on the different possibilities for Nance Road and Honsel but a definitive decision has not been made. SISD is not requesting to be absolved the requirement to use concrete; rather they are requesting temporary driveway paving materials until such time a definitive choice is made. Once a decision is made, SISD would then be required to comply with a permanent concrete drive.

## Public Notice

Public notice was provided to the Town's Official Newspaper for publication on August 31, 2016. Letters were also sent to property owners within 400' of the subject property. The total number of letters sent was twenty-two (22). As of the release of the staff memo, no responses had been received.

### **Staff Recommendation**

1. Town staff recommends approval of the site plan. The proposed site plan meets the standards set forth in the Zoning Ordinance. The building will accommodate a need for the Town and SISD.
2. The request for a temporary driveway is reasonable due to the long-term access uncertainties of the particular site location. When a definitive decision is made for Nance and Hounsel Road in the future, a time period should be established for the site to come into compliance with the concrete driveway requirement.
3. If approved, the proposed driveway should meet the weight capacity standards for fire truck and EMS access.
4. A plat and approved civil drawings will be required prior to construction.

### **Attachments**

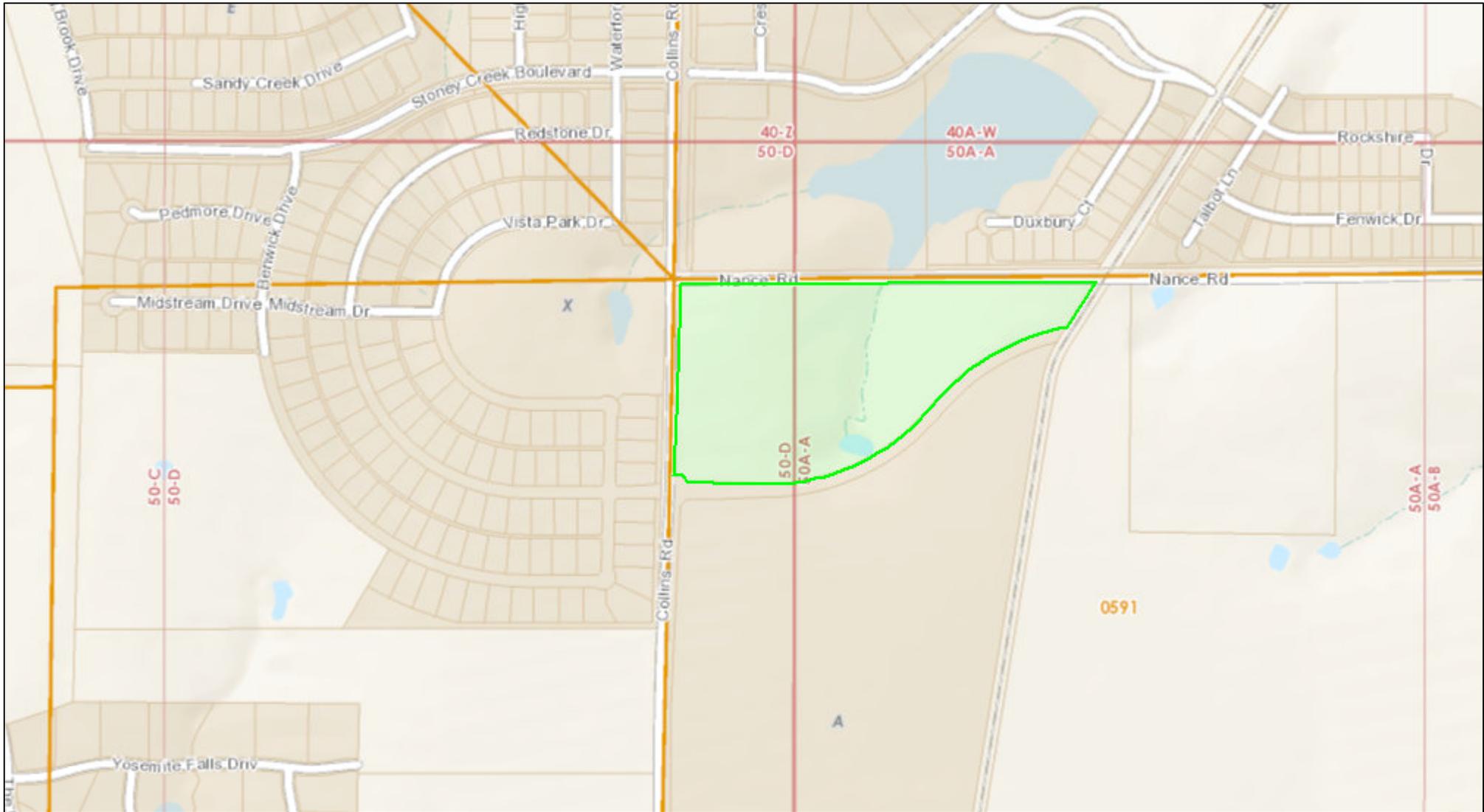
Location map

Site Plan Exhibits

# ag barn

DCAD ID: 65059104010010000

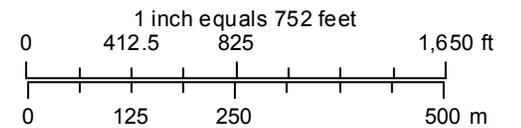
Date of copy: 9/7/2016



This product is for informational purposes only and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.



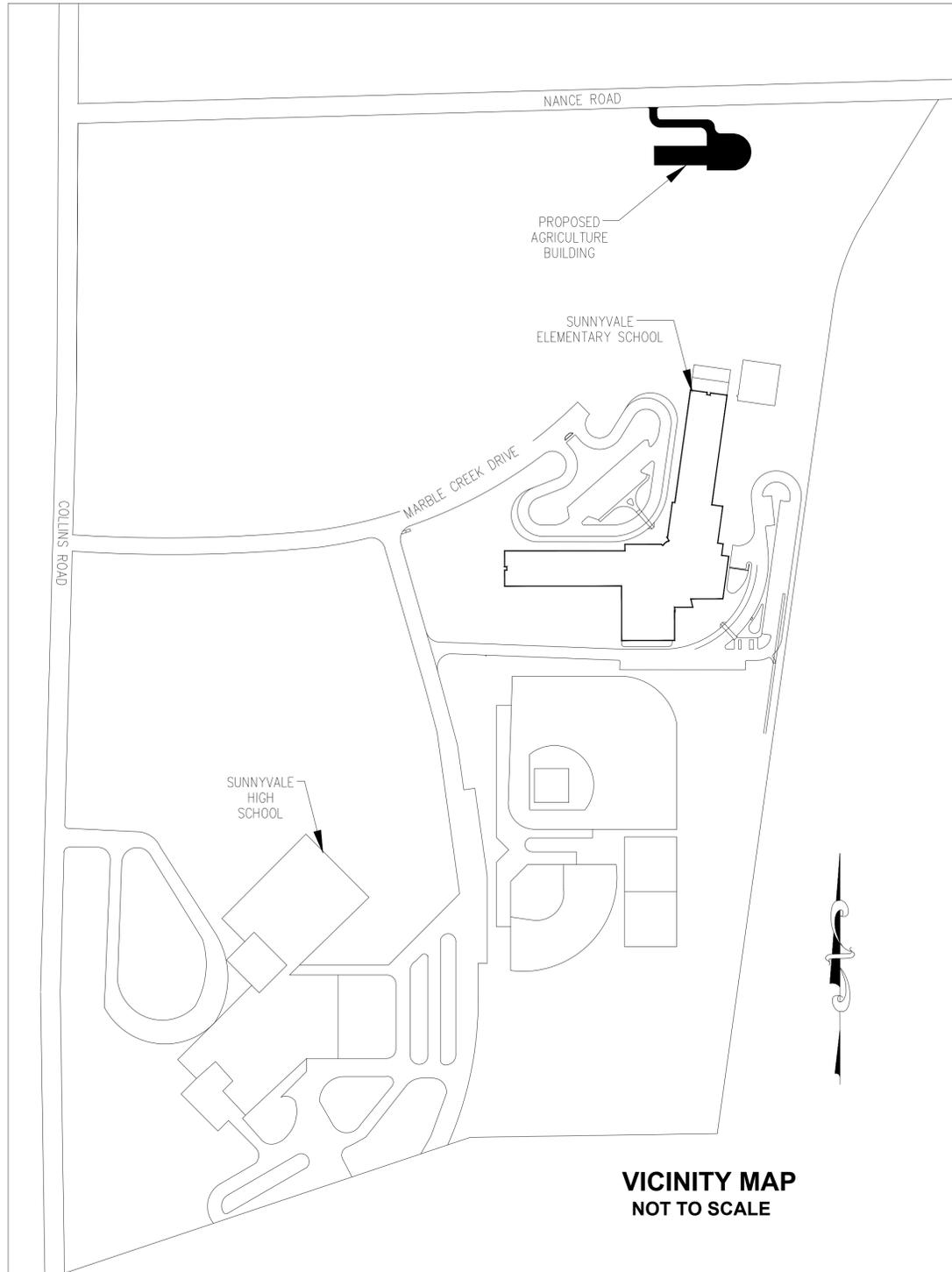
Dallas Central Appraisal District  
2949 N Stemmons Freeway  
Dallas, TX 75247-6195  
(214) 631-1342  
[www.dallascad.org](http://www.dallascad.org)



DCAD, NCTCOG, USGS, Esri, Inc

# SUNNYVALE AGRICULTURE BARN

Sunnyvale, Texas



VICINITY MAP  
NOT TO SCALE

## SHEET INDEX

SHEET NO.	DESCRIPTION
T1	TITLE PAGE
C1	SITE PLAN
C1.1	UTILITY DETAILS
C2	EROSION CONTROL NOTES
C2.1	EROSION CONTROL PLAN
C2.2	EROSION CONTROL DETAILS
C3.0	GRADING PLAN
C3.1	PRE-CONSTRUCTION DRAINAGE
C3.2	POST-CONSTRUCTION DRAINAGE
A1.0	FLOOR PLAN
A2.0	ELEVATION PLAN
A3.0	ELEVATION PLAN
S1	FOUNDATION PLAN
S1.1	FOUNDATION DETAILS
E1.0	ELECTRICAL PLAN
E1.1	ELECTRICAL NOTES & DETAILS
P1.0	PLUMBING PLAN
P1.1	PLUMBING NOTES & DETAILS

## TOWN OF SUNNYVALE GENERAL NOTES

### GENERAL:

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION" AND THE TOWN OF SUNNYVALE'S ADDENDUM THERETO.
- BEFORE BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL PREPARE A CONSTRUCTION SEQUENCE SCHEDULE. THE CONSTRUCTION SCHEDULE SHALL BE SUCH THAT THERE IS THE MINIMUM INTERFERENCE WITH TRAFFIC ALONG OR ADJACENT TO THE PROJECT.
- CONSTRUCTION MAY NOT BE BEGUN EARLIER THAN 7:00AM ON WEEKDAYS NOR CONTINUED AFTER DARK WITHOUT PERMISSION FROM THE TOWN OF SUNNYVALE. CONSTRUCTION ON SATURDAY MAY NOT BEGIN BEFORE 8:00 AM AND WORK ON SUNDAY IS PROHIBITED WITHOUT SPECIAL PERMISSION.
- UTILITIES SHOWN ON THE PLANS WERE TAKEN FROM FIELD SURVEYS AND INFORMATION PROVIDED BY THE UTILITY COMPANIES. THE COMPLETENESS AND THE ACCURACY OF THIS DATA IS NOT GUARANTEED. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATIONS OF ALL UNDER GROUND UTILITIES AND STRUCTURES AND PROTECTING THEM FROM DAMAGE DURING CONSTRUCTION.
- WORK MAY NOT BE BACKFILLED OR COVERED UNTIL IT HAS BEEN INSPECTED BY THE TOWN.
- MATERIALS TESTING SHALL BE PERFORMED BY AN INDEPENDENT TESTING LABORATORY AND PAID FOR BY THE CONTRACTOR.
- ALL EXCAVATION ON THE PROJECT IS UNCLASSIFIED.
- TEMPORARY EROSION CONTROL SHALL BE USED TO MINIMIZE THE SPREAD OF SILT AND MUD FROM THE PROJECT ON TO EXISTING STREETS, ALLEYS, DRAINAGE BAYS AND PUBLIC AND PRIVATE PROPERTY. TEMPORARY EROSION CONTROLS MAY INCLUDE STRAW BALES, BERMS, DIKES, SWALES, STRIPS OF UNDISTURBED VEGETATION, CHECK DAMS, AND OTHER METHODS AS REQUIRED BY THE TOWN ADMINISTRATOR OR HIS REPRESENTATIVE.
- FINISHED SLOPES ON PUBLIC RIGHT-OF-WAYS AND EASEMENTS SHALL NOT BE STEEPER THAN 4:1. ALL SLOPES STEEPER THAN 6:1 SHALL BE HYDROMULCHED AND MAINTAINED BY THE CONTRACTOR UNTIL GRASS COVERS ALL PARTS OF THE SLOPE.
- THE CONTRACTOR SHALL MAINTAIN TWO-WAY TRAFFIC AT ALL TIMES ALONG THE PROJECT.
- REMOVE, SALVAGE, AND REPLACE ALL STREET AND TRAFFIC CONTROL SIGNS WHICH MAY BE DAMAGED BY THE CONSTRUCTION OF THE PROJECT.
- ALL TRENCHING AND EXCAVATION SHALL BE PERFORMED IN ACCORDANCE WITH OSHA STANDARDS.

### PAVING

- ALL EMBANKMENT SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY.
- ALL STREETS AND ALLEYS SHALL BE PLACED ON LIME STABILIZED SUB-GRADE WITH A LIME CONTENT OF NOT LESS THAN 6%
- THE MINIMUM 28 DAY COMPRESSIVE STRENGTH OF CONCRETE STREET PAVING SHALL NOT BE LESS THAN 3600 PSI AND SHALL BE AIR ENTRAINED. WATER MAY NOT BE APPLIED TO THE SURFACE OF CONCRETE PAVING TO IMPROVE WORKABILITY.
- ALL CURB AND GUTTER SHALL BE INTEGRAL WITH THE PAVEMENT.
- PARABOLIC CROWNS ARE REQUIRED ON ALL STREET PAVEMENT EXCEPT ON MAJOR THOROUGHFARES WHERE STRAIGHT SECTIONS ARE REQUIRED.
- STREETS AND ALLEYS SHALL BE CONSTRUCTED WITH PROVISIONS FOR SIDEWALK RAMPS AT ALL INTERSECTIONS.

### DRAINAGE

- STORM SEWER PIPE SHALL BE REINFORCED CONCRETE, CLASS III UNLESS OTHERWISE NOTED.
- ALL STRUCTURAL CONCRETE SHALL BE CLASS "C" (3600 PSI COMPRESSIVE STRENGTH AT 28 DAYS) AIR ENTRAINED.
- THE CONTRACTOR SHALL INSTALL PLUGS IN STORM SEWER LINES OR OTHERWISE NOTED. MINIMUM COVER FOR WATERLINES IS 48" OR AS REQUIRED TO CLEAR EXISTING UTILITIES, WHICHEVER IS GREATER.

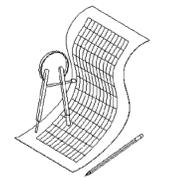
### WATER & SANITARY SEWER

- WATER MAINS SHALL BE AWWA C-900 PVC CLASS 150 UNLESS OTHERWISE NOTED. MINIMUM COVER FOR WATERLINES IS 48" OR AS REQUIRED TO CLEAR EXISTING UTILITIES, WHICHEVER IS GREATER.
- MARKING TAPE SHALL BE INSTALLED OVER PVC WATER LINES.
- FITTINGS FOR PVC WATER LINES SHALL BE DUCTILE IRON AND BE ENCASED IN A POLYETHYLENE SHEATH.
- VALVES SHALL BE MUELLER RESILIENT SEAT GATE VALVES.
- ALL DIRECT BURIAL VALVES SHALL BE PROVIDED WITH CAST IRON VALVE BOXES WITH PVC STACKS. VALVE STACKS SHALL BE VERTICAL AND CONCENTRIC WITH THE VALVE STEM. STAINLESS STEEL VALVE EXTENSIONS ARE REQUIRED ON ALL VALVES WHERE THE OPERATING NUT IS GREATER THAN 4 FEET BELOW FINISHED GRADE.
- FIRE HYDRANTS SHALL BE FIELD PAINTED PER TOWN OF SUNNYVALE'S SPECIFICATIONS.
- ALL EXPOSED BOLTING ON ANY BURIED EQUIPMENT OR MATERIAL SHALL BE STAINLESS STEEL. INCLUDED ARE:
  - BONNET AND STUFFING BOX BOLTS ON VALVES.
  - SHOE BOLTS ON FIRE HYDRANTS.
  - FLANGE BOLTS.

- "COR-TEN" MECHANICAL JOINT "T" BOLTS ARE ACCEPTABLE FOR DIRECT BURIAL SERVICE.
- METER BOXES SHALL BE APPROVED BY THE TOWN OF SUNNYVALE. CONTACT THE ENGINEER FOR SPECIFICATIONS.
- SANITARY SEWER MAINS SHALL BE DR 35 PVC.
- THE CONTRACTOR SHALL INSTALL AND MAINTAIN WATER TIGHT PLUGS IN ALL CONNECTIONS TO THE TOWN'S SANITARY SEWER SYSTEM UNTIL THE PROJECT IS ACCEPTED BY THE TOWN.
- ALL SANITARY SEWER LINES AND MANHOLES SHALL BE LEAK TESTED BEFORE THE PROJECT IS ACCEPTED. DEFLECTION TESTING OF PVC SEWER LINES IS REQUIRED.

PERMIT 9/12/2016  
ISSUED FOR: DATE:

SUNNYVALE ISD  
AGRICULTURE BARN  
SUNNYVALE, TX



**DYNAMIC**  
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PROFESSIONAL  
ENGINEERING  
SERVICES  
200 S HILLCREST DRIVE  
SULPHUR SPRINGS, TX  
75482  
TEL: 903-458-4195  
TEL: 903-383-3444  
E-MAIL: jburnett@dynamic-engineering.net  
WEB: www.dynamic-engineering.net

FIRM REGISTRATION # F-8215



NAME	DATE
DRAWN SR GREGORY	9/12/16
CHECKED	
ENG APPR. JW BURNETT	9/12/16
Q.A.	

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TITLE PAGE  
PROJECT # 6315  
SHEET NUMBER T1

### OWNER:

SUNNYVALE INDEPENDENT SCHOOL DISTRICT  
417 EAST TRIPP ROAD  
SUNNYVALE, TX 75182  
PH# 972-226-7601

### DESIGNER:

T3D DRAFTING & CONSULTING  
100 SOUTH MAIN STREET  
YANTIS, TX 75497  
CONTACT: THOMAS JENKINS  
PH# 903-383-7624

### CIVIL:

DYNAMIC ENGINEERING  
CONSULTANTS, PLLC  
200 HILLCREST SUITE C  
SULPHUR SPRINGS, TX 75482  
CONTACT: JAMES W. BURNETT  
PH# 903-513-3773

Sunnyvale Ag Barn Site Plan 8-5-16.dwg

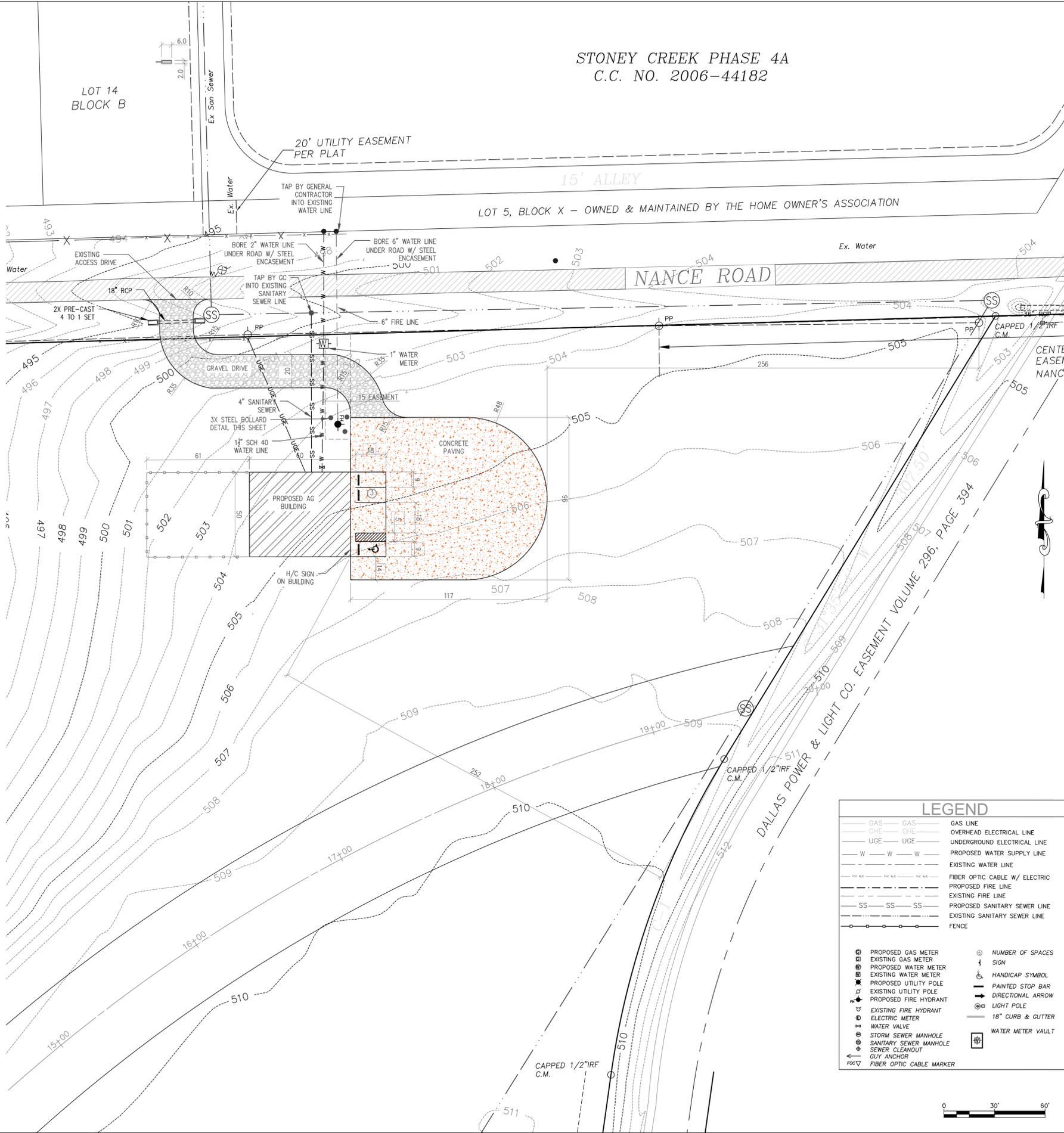
9/12/2016

- GENERAL NOTES:**
1. INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS AND FIELD CONDITIONS WHEN POSSIBLE, BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES BY DIGGING TEST PITS BY HAND AT ALL UTILITY CROSSING WELL IN ADVANCE OF TRENCHING. IF THE CLEARANCES ARE LESS THAN SPECIFIED ON THE PLANS OR 12", WHICHEVER IS LESS, CONTACT DYNAMIC ENGINEERING CONSULTANTS, PLLC. AT 903-382-3444.
  2. THE CONTRACTOR SHALL INCLUDE IN THE CONTRACT PRICE THE REMOVAL AND STOCK PILE ON SITE OF ANY EXCESS TOPSOIL THAT IS NOT REQUIRED TO PERFORM THE FINAL GRADING AND LANDSCAPING OPERATIONS.
  3. CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF ALL REQUIRED/NECESSARY SHEETING, SHORING, AND SPECIAL EXCAVATION MEASURED REQUIRED ON THE PROJECT TO MEET OSHA, FEDERAL, STATE, AND LOCAL REGULATIONS PURSUANT TO THE INSTALLATION OF THE WORK INDICATED ON THE DRAWINGS. SUNNYVALE ISD AND DYNAMIC ENGINEERING CONSULTANTS, PLLC. ACCEPT NO RESPONSIBILITY FOR THE DESIGN OR INSTALLATION OF SAID ITEMS.
  4. CALL BEFORE YOU DIG TEXAS ONE-CALL 811.
  5. ALL WORK SHALL CONFORM TO FEDERAL, STATE, COUNTY, AND/OR CITY STANDARDS, WHICHEVER IS MORE RESTRICTIVE.
  6. ALL CURB/HANDICAP RAMP DESIGNS SHALL CONFORM TO ADA STANDARDS, TXDOT OR CITY STANDARDS, WHICHEVER IS MORE RESTRICTIVE.
  7. THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS, ETC.
  8. THE CONTRACTOR SHALL INCLUDE IN THE CONTRACT PRICE DAILY RECORD KEEPING OF THE AS-BUILT CONDITIONS OF ALL OF THE UNDERGROUND UTILITIES, STORM DRAIN AND CONSTRUCTION STAKEOUTS ASSOCIATED WITH THE PROJECT. THE CONTRACTOR SHALL HAVE A LICENSED SURVEYOR PREPARE THE REQUIRED AS-BUILT INFORMATION FOR SUBMITTAL TO GOVERNING AGENCIES AND ALL OTHER INFORMATION REQUIRED IN CONNECTION WITH RELEASE OF BONDS.
  9. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE LOCAL POST OFFICE TO DETERMINE IF A FREE STANDING MAILBOX IS REQUIRED. IF SO REQUIRED, THE CONTRACTOR SHALL INCLUDE IN HIS CONTRACT PRICE THE INSTALLATION OF A 4"x4" PRESSURE TREATED POST SET IN CONCRETE WITH A METAL MAILBOX AT A LOCATION ACCEPTABLE TO THE POST OFFICE AND THE OWNER. (N/A THIS PROJECT)
  10. THE CONTRACTOR SHALL INCLUDE IN THE CONTRACT PRICE ALL MATERIAL AND LABOR ASSOCIATED WITH THE TESTING OF THE WATER AND SEWER LINES AS REQUIRED.
  11. THE CONTRACTOR SHALL INCLUDE IN THE CONTRACT PRICE OF ANY DE-WATERING NECESSARY TO CONSTRUCT THE PROJECT AS SHOWN ON THESE PLANS.
  12. THE CONTRACTOR SHALL INCLUDE IN THE PRICE ANY AND ALL COSTS ASSOCIATED WITH PROVIDING PROFESSIONAL ENGINEER ON SITE IF REQUIRED, DURING THE CONSTRUCTION OF THE STORM WATER MANAGEMENT FACILITY, UNDERGROUND UTILITIES. ETC. AS REQUIRED FOR AS-BUILT CERTIFICATION.

- SITE NOTES:**
1. PROPERTY BOUNDARY INFORMATION SHOWN HERON IS TAKEN FROM A BOUNDARY TOPOGRAPHIC SURVEY PREPARED FOR SUNNYVALE ISD BY SURDUKAN SURVEYING, INC. CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS.
  2. CONTRACTOR SHALL REMOVE PAVEMENT & CONCRETE AS REQUIRED IN ACCORDANCE WITH SPECIFICATION OF ALL GOVERNING AGENCIES.
  3. GENERAL CONTRACTOR SHALL COORDINATE WITH APPROPRIATE UTILITY COMPANIES PRIOR TO CONSTRUCTIONS, ADJUSTMENT, OR RELOCATION OF EXISTING UTILITIES AS DESIGNATED ON PLANS.
  4. CONTRACTOR IS RESPONSIBLE FOR REPAIRING THE DAMAGE DONE TO ANY EXISTING ITEMS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB ETC. REPAIRS SHALL BE EQUAL TO, OR BETTER THAN, EXISTING CONDITIONS. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND NOTIFY CONSTRUCTION MANAGER PRIOR TO CONSTRUCTION STARTS.
  5. CONTRACTOR TO REMOVE OR RELOCATE, WHEN APPLICABLE, ALL EXISTING DRAIN PIPES, SANITARY SEWER PIPES, POWER POLES, AND GUY WIRES, WATER METER AND WATER LINES, WELL, SIDEWALKS, SIGN POLES, UNDERGROUND GAS, AND CONCRETE PAVING, SHOWN AND NOT SHOWN, WITHIN CONSTRUCTION LIMITS AND WHERE NEEDED, TO ALLOW FOR NEW CONSTRUCTION AS SHOWN.
  6. CONTRACTOR SHALL FOLLOW ALL LOCAL, STATE, AND FEDERAL REGULATIONS IN DISPOSING OF DEMOLISHED MATERIALS REMOVED FROM THIS SITE.
  7. DIMENSIONS SHOWN ARE TO FACE OF CURB, FACE OF BUILDING, OR CENTERLINE OF PARKING BAY UNLESS NOTE OTHERWISE.
  8. SEE PAVING PLAN SHEETS FOR PAVEMENT SPECS.
  9. BUILDING EXCAVATION AND FOUNDATIONS, BUILDING ENTRANCE PLATFORMS, PORCHES, PADS, BUILDING DIMENSIONS, UTILITY ENTRY/EXIT POINTS, SIDEWALK, ADJACENT TO THE BUILDING, AND LOADING DOCK RAMP/CURBS/RETAINING WALLS ARE DETAILED AND SPECIFIED ON THE ARCHITECTURAL DRAWINGS.
  10. PROVIDE EXPANSION JOINTS AT ALL RADIUS POINTS IN CONCRETE CURB AND GUTTER AND AS SHOWN ON THE DETAILS, OR AS DIRECTED BY THE ENGINEER.
  11. THE CONTRACTOR IS TO PROVIDE TRASH RECEPTACLES FOR USE OF SUBCONTRACTORS AND THEIR EMPLOYEES, ALL DUMPSTER SHOULD BE LOCATED OFF STREETS AND RIGHT OF WAYS. BLOCKING PERMITS ARE REQUIRED FOR ANY USE OF THE STREET RIGHT OF WAYS.
  12. PROVIDE CONTAINERS FOR GARBAGE AND MINOR TRASH IN EATING AREAS, IN PARKING LOTS, AND ALONG WALKWAYS.
  13. SERVICE TRASH CONTAINERS ADEQUATELY.
  14. KEEP STREETS AND AREAS ADJACENT TO THE JOB SITE CLEAN AND FREE OF TRASH AND MUD ORIGINATING FROM THE SITE.
  15. REQUIRE ALL WASTE HAULERS TO COVER TRUCKS BEFORE LEAVING SITE.
  16. CONTRACTOR IS RESPONSIBLE TO ANY DAMAGE FOR STREETS, SIDEWALKS, CURB AND GUTTERS OR ANY OTHER PUBLIC PROPERTY. DAMAGE MUST BE REPAIRED OR REPLACED PRIOR TO FINAL INSPECTIONS.
  17. REFERENCE GEO-REPORT FOR SOIL CHARACTERISTICS AND SITE DEVELOPMENT RECOMMENDATIONS.

**AUTHORITY AND RESPONSIBILITY:**  
 THE ENGINEER, AS REPRESENTATIVE OF THE OWNER, SHALL NOT GUARANTEE THE WORK OF ANY CONTRACTOR OR SUBCONTRACTOR, SHALL HAVE NO AUTHORITY TO STOP WORK, SHALL HAVE NO SUPERVISION OR CONTROL AS TO THE WORK OR PERSONS DOING THE WORK, SHALL NOT HAVE CHARGE OF THE WORK, SHALL NOT BE RESPONSIBLE FOR SAFETY IN, ON, OR ABOUT THE JOB SITE OR HAVE ANY CONTROL OF THE SAFETY OF ADEQUACY OF ANY EQUIPMENT, BUILDING COMPONENT, SCAFFOLDING, SUPPORTS, FORMS, OR OTHER WORK AIDS, AND SHALL HAVE NO DUTIES OR RESPONSIBILITIES IMPOSED BY THE STRUCTURAL WORK ACT.

**PERMITS, BONDS, AND INSPECTIONS:**  
 THE CONTRACTOR SHALL BE RESPONSIBLE TO INSURE THAT ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO THE ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES. THIS SHALL INCLUDE THE HIRING OF A PROFESSIONAL ENGINEER TO CONDUCT INSPECTIONS AND PROVIDE CERTIFICATIONS, AS MAY BE REQUIRED.



**STONEY CREEK PHASE 4A  
 C.C. NO. 2006-44182**

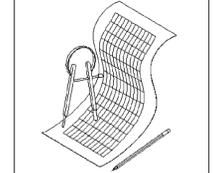
LOT 14  
 BLOCK B

LOT 5, BLOCK X - OWNED & MAINTAINED BY THE HOME OWNER'S ASSOCIATION

NANCE ROAD

PERMIT 9/12/2016  
 ISSUED FOR: DATE:

SUNNYVALE ISD  
 AGRICULTURE BARN  
 SUNNYVALE, TX



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 SERVICES  
 200 S. HILLCREST DRIVE  
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 75482

TEL: 903-913-3773  
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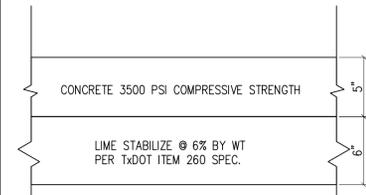
FIRM REGISTRATION # F-8215



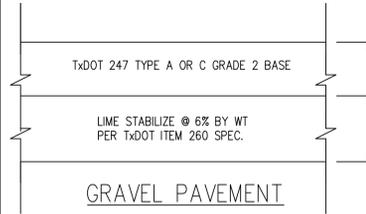
NAME	DATE
DRAWN SR GREGORY	9/12/2016
CHECKED ENG APPRJW BURNETT	9/12/2016
Q.A.	

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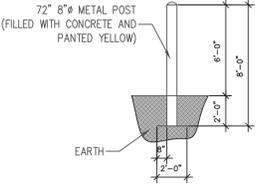
SITE PLAN  
 PROJECT # 6315  
 SHEET NUMBER  
**C1**



**CONCRETE LIGHT DUTY RIGID**  
 SCALE: N/DNE (ADA PARKING)



**GRAVEL PAVEMENT**



**BOLLARD DETAIL**  
 N.T.S.

- PROPOSED LIGHT DUTY CONCRETE
- PROPOSED GRAVEL
- EXISTING ROAD

**LEGEND**

GAS	GAS LINE	NUMBER OF SPACES
OHE	OVERHEAD ELECTRICAL LINE	SIGN
UGE	UNDERGROUND ELECTRICAL LINE	HANDICAP SYMBOL
W	PROPOSED WATER SUPPLY LINE	PAINTED STOP BAR
W	EXISTING WATER LINE	DIRECTIONAL ARROW
FOC W/E	FIBER OPTIC CABLE W/ ELECTRIC	LIGHT POLE
F	PROPOSED FIRE LINE	18" CURB & GUTTER
F	EXISTING FIRE LINE	WATER METER VAULT
SS	PROPOSED SANITARY SEWER LINE	
SS	EXISTING SANITARY SEWER LINE	
F	FENCE	

PROPOSED GAS METER	EXISTING GAS METER
PROPOSED WATER METER	EXISTING WATER METER
PROPOSED UTILITY POLE	EXISTING UTILITY POLE
PROPOSED FIRE HYDRANT	EXISTING FIRE HYDRANT
EXISTING FIRE HYDRANT	ELECTRIC METER
WATER VALVE	STORM SEWER MANHOLE
SANITARY SEWER MANHOLE	SEWER CLEANOUT
GUY ANCHOR	FIBER OPTIC CABLE MARKER



Sunnyvale Ag Building Grading Plan 8-16-16.dwg

8/24/2016

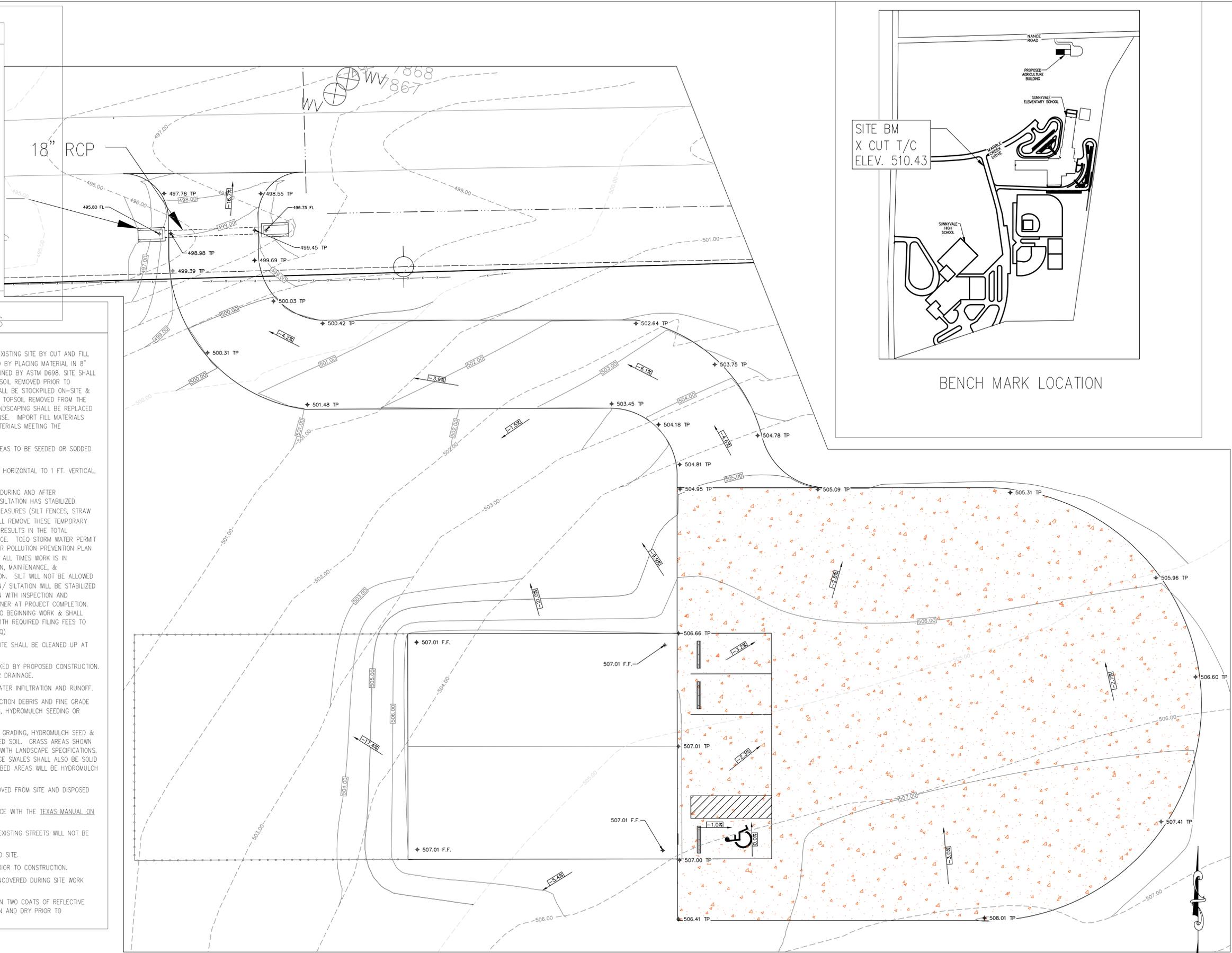
LEGEND

- PRE-CONSTRUCTION DRAINAGE DIVIDE
- POST-CONSTRUCTION DRAINAGE DIVIDE
- EXISTING CONTOUR LINES
- PROPOSED CONTOUR LINES
- AREA DESIGNATOR
- FLOW RATE Q (CFS)
- DIRECTION OF FLOW
- LD — LD — LIMITS OF GRADING DISTURBANCE
- SF — SF — SILT FENCE
- EXISTING FLOW DIRECTION WITH % SLOPE
- PROPOSED FLOW DIRECTION WITH % SLOPE
- TW 479.00 ⊕ TOP OF WALL ELEVATION
- BW 479.00 ⊕ BOTTOM OF WALL ELEVATION
- BC 479.00 ⊕ BACK OF CURB ELEVATION
- EG 479.00 ⊕ EXISTING GROUND ELEVATION
- FF 479.00 ⊕ FINISHED FLOOR ELEVATION

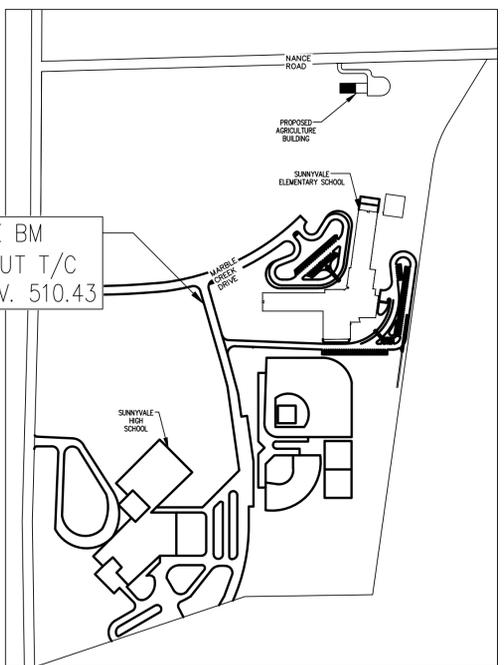
18" RCP

SITWORK NOTES

- PROPOSED GRADES ARE TO BE ATTAINED BY RESHAPING EXISTING SITE BY CUT AND FILL OPERATIONS. FILL OPERATIONS ARE TO BE ACCOMPLISHED BY PLACING MATERIAL IN 8" MAX. LIFTS AND COMPACTING TO 95% DENSITY AS DETERMINED BY ASTM D698. SITE SHALL BE CLEARED & GRUBBED IF APPLICABLE SCARIFIED & TOPSOIL REMOVED PRIOR TO CONSTRUCTION. TOPSOIL AS REQUIRED FOR PLANTING SHALL BE STOCKPILED ON-SITE & RE-USED. DISPOSE OF EXCESS SITE MATERIALS. EXCESS TOPSOIL REMOVED FROM THE SITE WHICH MUST BE REPLACED FOR SITE PLANTING & LANDSCAPING SHALL BE REPLACED WITH SIMILAR QUALITY MATERIALS AT CONTRACTORS EXPENSE. IMPORT FILL MATERIALS SHALL BE SELECT FILL SANDY CLAY OR CLAYEY SAND MATERIALS MEETING THE REQUIREMENTS OF THE GEOTECHNICAL REPORT.
- FOUR (4) INCHES OF TOPSOIL SHALL BE RETURNED TO AREAS TO BE SEEDDED OR SODDED AND FERTILIZED TO ACHIEVE FINISHED GRADES.
- MAXIMUM CUT OR FILL SLOPES ARE NOT TO EXCEED 4 FT. HORIZONTAL TO 1 FT. VERTICAL, UNLESS OTHERWISE SPECIFIED.
- CONTRACTOR TO BE RESPONSIBLE FOR EROSION CONTROL DURING AND AFTER CONSTRUCTION, UNTIL COVER IS ESTABLISHED & EROSION SILTATION HAS STABILIZED. CONTRACTOR SHALL FURNISH TEMPORARY SILT CONTROL MEASURES (SILT FENCES, STRAW BALES, ETC.) AS REQUIRED DURING CONSTRUCTION & SHALL REMOVE THESE TEMPORARY MEASURES AFTER COVER IS ESTABLISHED. THIS PROJECT RESULTS IN THE TOTAL DISTURBANCE OF MORE THAN 1 ACRES OF GROUND SURFACE. TCEQ STORM WATER PERMIT REQUIREMENTS ARE APPLICABLE. A WRITTEN STORM WATER POLLUTION PREVENTION PLAN (SWPPP) WILL BE REQUIRED AND WILL BE ON THE SITE AT ALL TIMES WORK IS IN PROGRESS. TCEQ REQUIREMENTS FOR POSTING, INSPECTION, MAINTENANCE, & RECORDKEEPING SHALL BE FOLLOWED DURING CONSTRUCTION. SILT WILL NOT BE ALLOWED TO EXIT THE SITE TO NEIGHBORING PROPERTIES & EROSION/ SILTATION WILL BE STABILIZED PRIOR TO ACCEPTANCE OF THE WORK. THE WRITTEN PLAN WITH INSPECTION AND MAINTENANCE REPORTS WILL BE TURNED OVER TO THE OWNER AT PROJECT COMPLETION. CONTRACTOR SHALL PREPARE THE WRITTEN PLAN PRIOR TO BEGINNING WORK & SHALL SUBMIT REQUIRED NOTICES OF INTENT AND TERMINATION WITH REQUIRED FILING FEES TO THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ)
- MAINTAIN SITE IN "FIRST CLASS" CONDITION. THE WORK SITE SHALL BE CLEANED UP AT THE END OF EACH DAY.
- INSURE THAT NO DRAINAGE ON OR OFF THE SITE IS BLOCKED BY PROPOSED CONSTRUCTION. FINISHED GRADES ARE TO BE SLOPED TO PROVIDE PROPER DRAINAGE.
- PROTECT EXCAVATIONS FROM FLOODING DUE TO GROUNDWATER INFILTRATION AND RUNOFF.
- NEAR COMPLETION OF WORK, REMOVE ALL SITE/ CONSTRUCTION DEBRIS AND FINE GRADE ALL DISTURBED AREAS IN PREPARATION FOR LANDSCAPING, HYDROMULCH SEEDING OR SODDING.
- UPON SUBSTANTIAL COMPLETION AND APPROVAL OF FINAL GRADING, HYDROMULCH SEED & FERTILIZE ALL AREAS WHERE CONSTRUCTION HAS DISTURBED SOIL. GRASS AREAS SHOWN ON LANDSCAPE PLAN SHALL BE SODDED IN ACCORDANCE WITH LANDSCAPE SPECIFICATIONS. AREAS WITH FINISH GRADES EXCEEDING 6 TO 1 & DRAINAGE SWALES SHALL ALSO BE SOLID SODDED PER LANDSCAPING SPECIFICATIONS, OTHER DISTURBED AREAS WILL BE HYDROMULCH SEEDDED WITH SAHARA BERMUDA.
- EXCESS EXCAVATED MATERIAL AND DEBRIS IS TO BE REMOVED FROM SITE AND DISPOSED OF.
- CONTRACTOR TO PROVIDE TRAFFIC CONTROL IN ACCORDANCE WITH THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL FOR STREETS AND HIGHWAYS.
- DROP-OFFS GREATER THAN 2 INCHES ADJACENT TO THE EXISTING STREETS WILL NOT BE ALLOWED TO REMAIN OPEN OVERNIGHT.
- DRESS-UP AND CLEAN-UP PERIMETER TRANSITION AROUND SITE.
- VERIFY FLOW LINES OF ALL CULVERTS AND CURB LINES PRIOR TO CONSTRUCTION.
- ANY ROOTS, TRASH OR OTHER MATERIALS EXPOSED OR UNCOVERED DURING SITE WORK SHALL BE REMOVED & DISPOSED OF.
- PAVEMENT MARKING SHALL BE 4" WIDE STRIPES APPLIED IN TWO COATS OF REFLECTIVE YELLOW TRAFFIC MARKING PAINT. SURFACES TO BE CLEAN AND DRY PRIOR TO APPLICATION.



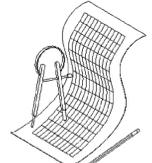
SITE BM X CUT T/C ELEV. 510.43



BENCH MARK LOCATION

PERMIT 8/24/2016  
ISSUED FOR: DATE:

SUNNYVALE ISD  
AG BUILDING  
SUNNYVALE, TX



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200 S. HILLCREST DRIVE  
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75482

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FIRM REGISTRATION # F-8215



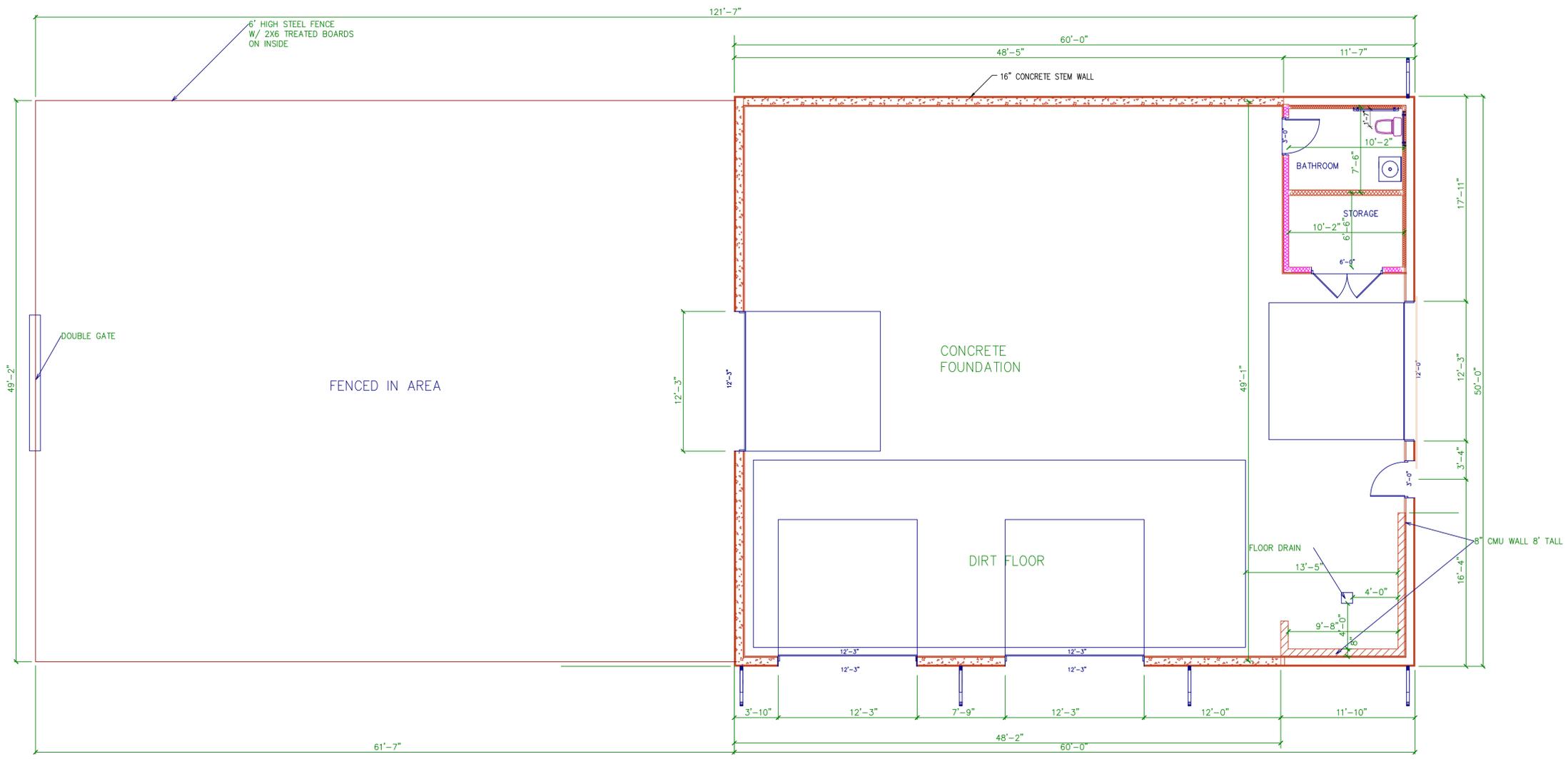
NAME	DATE
DRAWN SR GREGORY	8/24/2016
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ENG APPR JW BURNETT	8/24/2016
Q.A.	

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GRADING PLAN  
PROJECT # 6315  
SHEET NUMBER

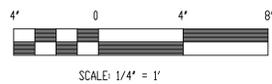
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AREA SCHEDULE	
NAME	AREA
Gross Floor Area 3000.0 sq. ft.	

OPENING SCHEDULE					
PRODUCT CODE	SIZE	HINGE DIRECTION	REVERSE	COUNT	
36X80 PLAIN 1-MODIFIED	3'-0"	L	NO	2	
72X80 PLAIN 2-MODIFIED	6'-0"	LR	YES	1	
144X144 - ROLLER-MODIFIED	12'-0"	U	NO	4	



PERMIT 8/24/2016  
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SUNNYVALE ISD  
AG BUILDING  
SUNNYVALE, TX



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TEL: 903-933-3773  
FAX: 903-362-3444

E-MAIL: jburnett@dynamic-engineering.net  
WEB: www.dynamic-engineering.net

FIRM REGISTRATION # F-8215

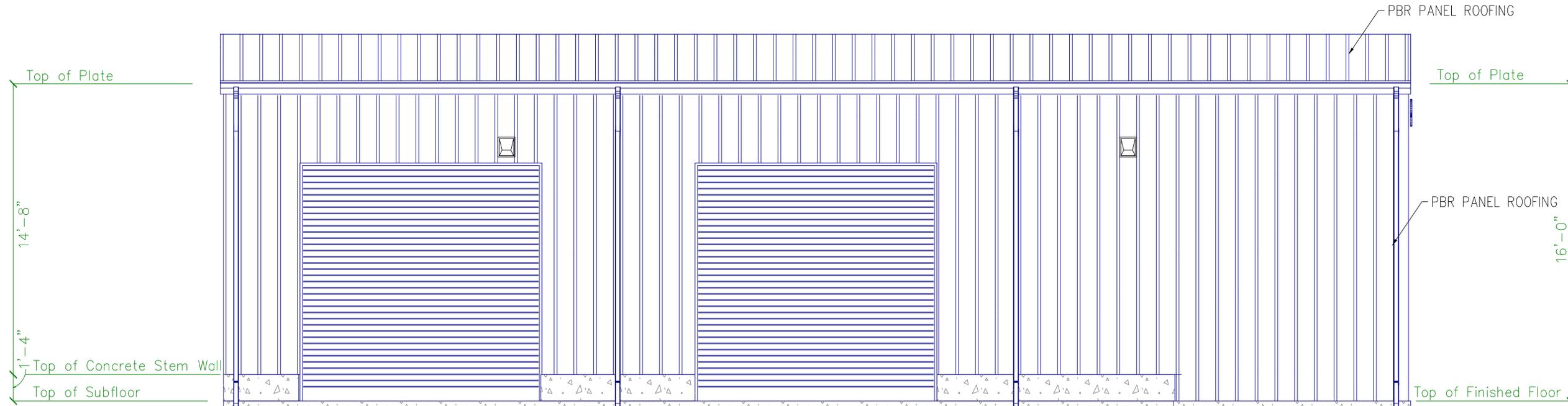


NAME	DATE
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ENG APPR. JW BURNETT	8/24/2016
Q.A.	

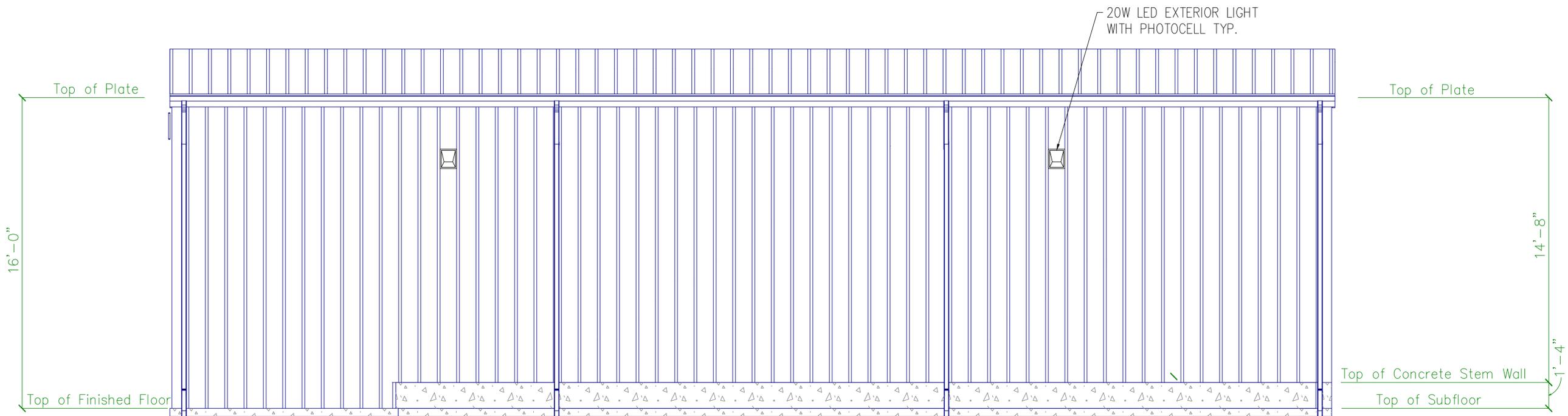
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FLOOR PLAN  
PROJECT # 6315  
SHEET NUMBER A1.0

8/24/2016 SUNNYVALE AG BUILDING - ARCH 8-18-16.dwg



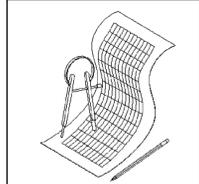
○ LEFT ELEVATION VIEW  
Scale: NONE



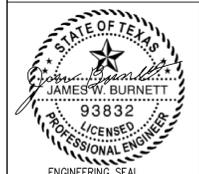
○ RIGHT ELEVATION VIEW  
Scale: NONE

PERMIT 8/24/2016  
ISSUED FOR: DATE:

SUNNYVALE ISD  
AG BUILDING  
SUNNYVALE, TX



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200 HILLCREST SUITE C  
SULPHUR SPRINGS, TX  
75482  
TEL: 903-513-1723  
FAX: 903-382-3444  
E-MAIL: jburnett@dynamic-engineering.net  
WEB: www.dynamic-engineering.net  
FIRM REGISTRATION # F-8215

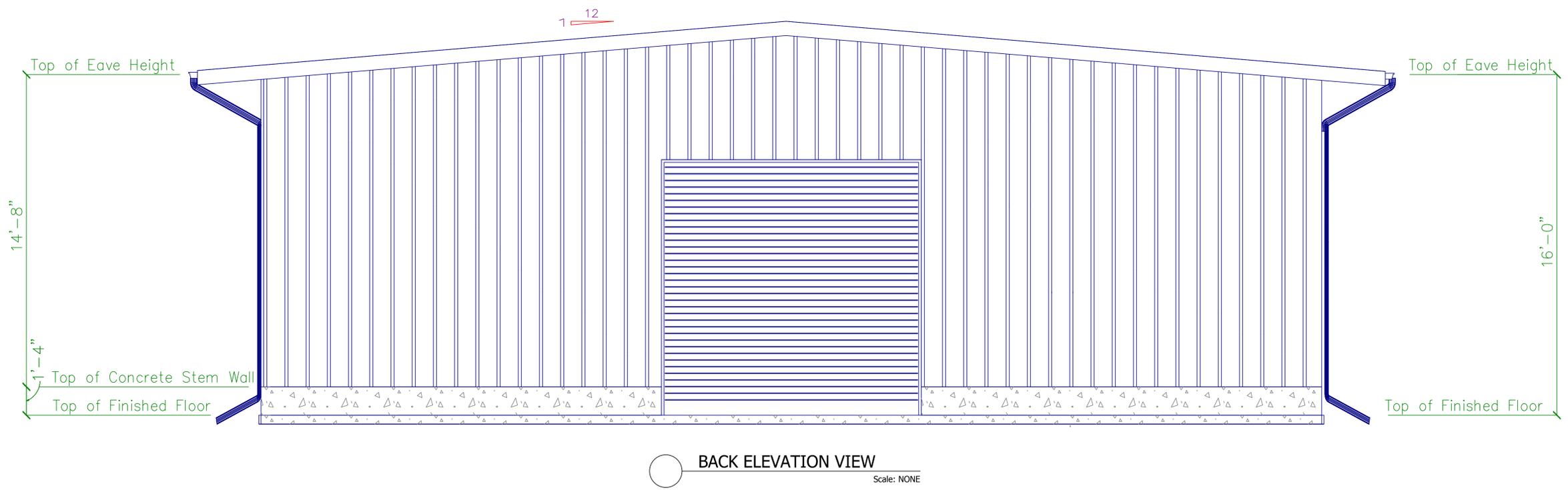
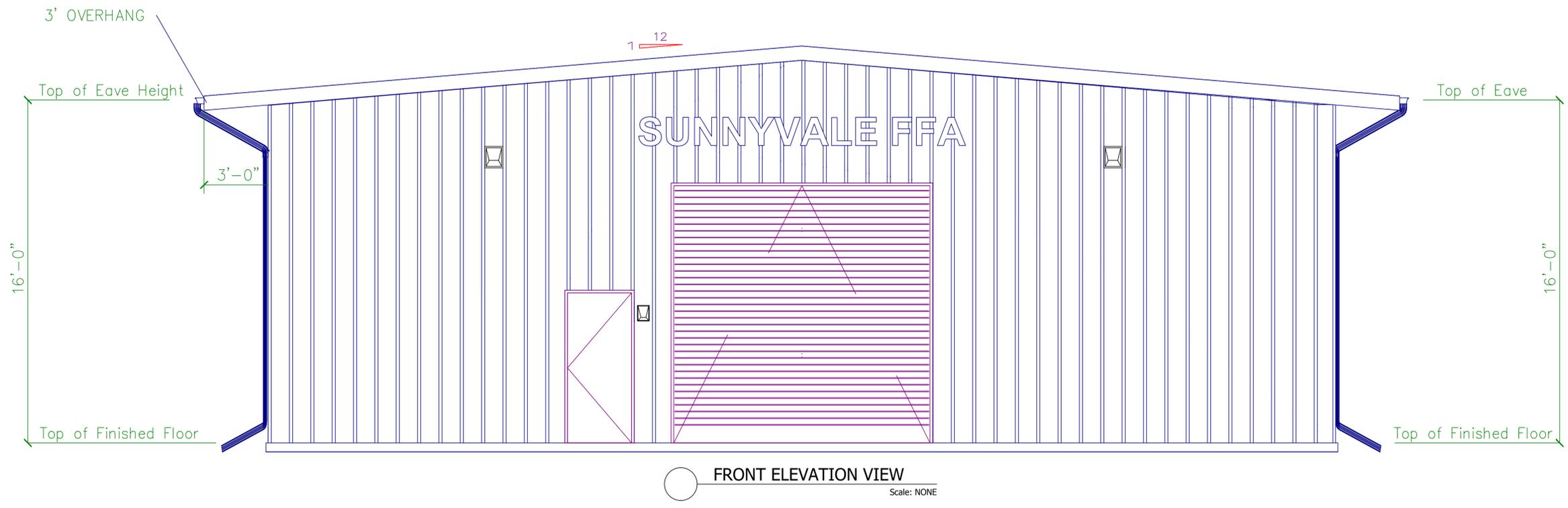


NAME	DATE
DRAWN SR GREGORY	8/24/2016
CHECKED	
ENG APPR. JW BURNETT	8/24/2016
Q.A.	

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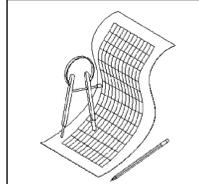
ELEVATION VIEWS  
PROJECT # 6315  
SHEET NUMBER A2.0

8/24/2016 SUNNYVALE AG BUILDING - ARCH 8-18-16.dwg



PERMIT 8/24/2016  
ISSUED FOR: DATE:

SUNNYVALE ISD  
AG BUILDING  
SUNNYVALE, TX



**DYNAMIC**  
Engineering  
Consultants  
PLLC  
PROFESSIONAL  
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ELEVATION VIEWS  
PROJECT # 6315  
SHEET NUMBER A3.0

Please provide a material example (color picture or color sample) of the proposed building and materials. (Reference pre-engineered building – Roof is galvanized sheet metal and color will be light stone)



example building